

## KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

### FINDINGS OF FACT Graham Family Short Plat (SP-08-02)

Pursuant to RCW 58.17.195, the Kittitas County Community Development Services Department formally establishes the following Findings of Fact:

1. The Graham Family Short Plat (SP-08-02) has satisfied all current subdivision and zoning requirements. This short plat has been reviewed and approved in conformance with the Kittitas County Subdivision (Title 16) and Zoning (Title 17) Codes.
2. The applicant has demonstrated to the satisfaction of the County Environmental Health Director the availability of potable water supplies.
3. The property is allowed one single groundwater withdrawal exemption of 5,000 gallons per day to be shared between all 4-lots and all wells shall be metered. A plat note reflects this requirement.
4. The applicant has demonstrated that preliminary inspection indicated soil conditions may allow use of septic tanks as a temporary means of sewage disposal for some, but not necessarily all building sites within this Short Plat.
5. The applicant has demonstrated to the County Public Works Department that the access provisions are in the interest of public safety and general welfare.
6. A statement indicating the County's intent to approve this short plat, together with a reduced photocopy depicting the lot configurations and proposed acreage was mailed to known adjacent property owners and parties of record on August 28, 2008.
7. Kittitas County Community Development Services Department completed a Critical Areas Review. There are no regulated critical areas on the subject property per Kittitas County Code 17A.

Administratively approved short plats must be recorded with the County Auditor and shall not be deemed approved until officially filed.

Approved this  
8<sup>th</sup> Day of October, 2008

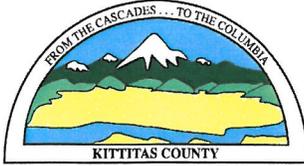


**Dan Davis, Interim Building Official**

DARRYL PIERCY, DIRECTOR

ALLISON KIMBALL, ASSISTANT DIRECTOR

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### NOTICE OF DECISION

**To:** Washington State Department of Ecology  
CTED Growth Management Services  
Kittitas County Department of Public Works  
Kittitas County Environmental Health  
Required Parties of Record  
Applicant

**From:** Mackenzie Moynihan, Staff Planner

**Date:** July 23, 2008

**Subject:** **NOTICE OF DECISION – Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02)**

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Pursuant to RCW 36.70B.130 and KCC 15A.06, notice is hereby given that the Kittitas County Board of County Commissioners granted approval to the project related Graham Rezone (Z-08-02) and corresponding Graham Family Short Plat (SP-08-02) on July 15, 2008. Proponent: Richard Graham, landowner, for a rezone from Forest & Range to Rural-3 together with a Short Plat to divide the 12.19 acres into 4-lots.

The project is located south of Interstate-90, off Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

Please find attached a copy of the Kittitas County Board of Commissioners Ordinance No. 2008-14. All documents of the record may be examined at Kittitas County Community Development Services, 411 N. Ruby, Suite 2, Ellensburg, WA 98926. (509) 962-7506, or on the CDS website at <http://www.co.kittitas.wa.us/cds/current/>. Staff Planner: Mackenzie Moynihan

Issuance of this land use decision may be appealed by parties with standing, by filing a land use petition in Superior Court, and serving said petition on all required parties pursuant to RCW 36.70C and KCC 15A.08, within twenty-one days of the issuance of the land use decision.

Please retain all documents.

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DARRYL PIERCY, DIRECTOR

ALLISON KIMBALL, ASSISTANT DIRECTOR

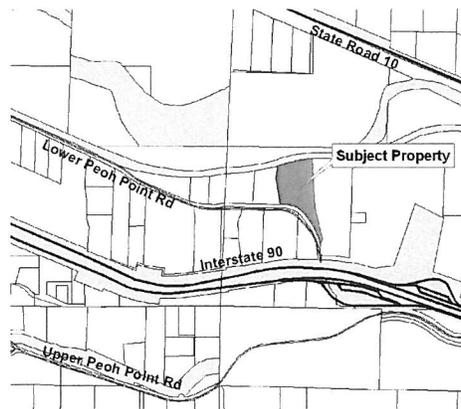
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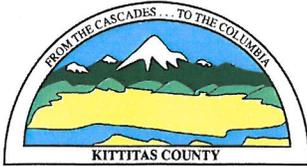
**Notice of Decision**  
**Graham Rezone (Z-08-02)**  
**Graham Family Short Plat (SP-08-02)**

Pursuant to RCW 36.70B.130 and KCC 15A.06, notice is hereby given that the Kittitas County Board of County Commissioners granted approval for the Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02) on July 15, 2008. Proponent: Richard Graham, landowner, for a project related rezone from Forest & Range to Rural-3 along with a Short Plat to divide the 12.19 acres into 4-lots. The project is located south of Interstate-90, off Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

Copies of the Kittitas County Board of Commissioners Ordinance 2008-14 and related file documents may be examined at Kittitas County Community Development Services, 411 N. Ruby Suite 2, Ellensburg, WA 98926. (509) 962-7506, or on the CDS website at <http://www.co.kittitas.wa.us/cds/current/>. Issuance of this land use decision may be appealed by parties with standing, by filing a land use petition in Superior Court, and serving said petition on all required parties pursuant to RCW 36.70C and KCC 15A.08, within twenty-one days of the issuance of the land use decision.

Dated: July 23, 2008  
Publish: July 23, 2008, Daily Record  
Publish: July 24, 2008, NKC Tribune





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## NOTIFICATION CHECKLIST FOR PLANNING ISSUES

(to be filled out and kept in the files at all times)

**PROPOSAL NAME:** Graham Rezone (Z-08-02) and Graham Family  
Short Plat (SP-08-02)  
Notice of Decision

**NOTIFICATION MAIL DATE:** July 23, 2008

*Mailer:* In addition to attaching copies of the documents mailed, please attach a copy of the names and addresses of those to whom the documents were mailed and of the public hearing notice sent to the newspapers.

State of Washington  
County of Kittitas

I certify that the acts of notification of land use action, including those requiring SEPA review, and other actions described in this document have occurred or have been performed.

  
\_\_\_\_\_  
Staff Signature

Subscribed and sworn to before me this 23 day of July, 20 08.

  
  
\_\_\_\_\_  
Notary Public for the State of Washington  
residing in Ellensburg

My appointment expires January 9, 20 10.

Review Team  
CTED Growth Management Services  
PO Box 42525  
Olympia, WA 98504-2525

Washington Department of Ecology  
Derek Sandison, Regional Director  
15 W. Yakima Avenue, Suite 200  
Yakima, WA 98902-3401

Richard Graham  
PO Box 1026  
Cle Elum, WA 98922

Encompass Engineering & Surveying

Kittitas County Public Works

Kittitas County Environmental Health

Department of Ecology  
Environmental Review Section  
PO Box 47703  
Olympia, WA 98504-7703



## KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

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Office (509) 962-7506

Fax (509) 962-7682

August 28, 2008

Richard Graham  
PO Box 1026  
Cle Elum, WA 98922

### RE: Graham Family Short Plat (SP-08-02)

Dear Mr. Graham:

The Kittitas County Community Development Services Department has determined that the Graham Family Short Plat is a complete application and hereby grants **conditional preliminary approval** subject to the following conditions:

1. Both sheets shall reflect the short plat number SP-08-02.
2. All mitigations as set forth in the SEPA MDNS issued on April 25, 2008 shall be conditions of approval and of the project. Please see attached MDNS.
3. The applicant shall be responsible for meeting or exceeding all conditions and requirements set forth by the Department of Public Works, as listed in the attached memorandum.
4. A plat note shall be added as follows:

*The Graham Family Short Plat (SP-08-02) shall be considered as one project and therefore shall be limited to one groundwater withdrawal exemption for all four (4) proposed lots. All wells serving the Graham Family Short Plat (SP-08-02) shall be metered and records documenting water usage shall be kept and made available for public inspection. The cumulative daily withdrawal limit of all wells combined shall not exceed the 5,000 gallon per day exemption set forth by the Department of Ecology.*

5. A plat note shall be added as follows:

*Withdrawals of groundwater on the subject property are subject to the rules and regulations adopted and administrated by the Washington State Department of Ecology; this includes the use of water for irrigation. Legally obtained water must be used on-site.*

6. A plat note shall be added as follows:

*Kittitas County relies on its record that a supply of potable water exists. The approval of this division of land includes no guarantee or assurance that there is a*

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DARRYL PIERCY, DIRECTOR

ALLISON KIMBALL, ASSISTANT DIRECTOR

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*legal right to withdraw groundwater within the land division.*

7. A plat note shall be added as follows:

*All future development shall comply with the 2006 International Fire Code and its appendices.*

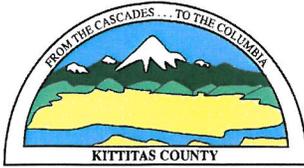
Approval of the Graham Family Short Plat may be appealed to the County Commissioners upon request of any aggrieved party within 10 working days, and shall accordingly be eligible for final administrative approval after Thursday, September 11, 2008. Administratively approved short plats must be recorded with the County Auditor and shall not be deemed approved until so filed. If you have any questions, please do not hesitate to contact our office.

Sincerely,



Mackenzie Moynihan  
Staff Planner

CC Required parties (KCC 15A)



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### SEPA MITIGATED DETERMINATION OF NONSIGNIFICANCE

- Project:** Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02)
- Description:** A rezone from Forest & Range to Rural-3 together with a Short Plat to subdivide approximately 12.19 acres of land into four (4) lots.
- Proponent:** Richard Graham  
PO Box 1026  
Cle Elum, WA 98922
- Location:** The project is located south of Interstate 90, off Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.
- Lead Agency:** Kittitas County Community Development Services

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request. The lead agency for this proposal has also determined that certain mitigation measures are necessary in order to issue a Determination of Non-Significance for this proposal. Failure to comply with the mitigation measures identified hereafter will result in the issuance of a Determination of Significance (DS) for this project. These mitigation measures include the following:

#### **The following conditions shall also apply based on the project specific analysis:**

#### **I. Transportation**

- A. The applicant shall be responsible for meeting or exceeding all conditions and requirements set forth by the Department of Public Works, as listed in the attached memorandum.
- B. A minimum 20' wide access and utility easement shall be shown on the final mylars for the proposed access location to Lot 4 of the Graham Family Short Plat.

#### **II. Air**

- A. If the applicant plans to burn trees or debris from the property, the applicant shall obtain a burn permit from the Department of Ecology. Only natural unprocessed vegetation may be burned in an outdoor fire. It is the applicant's responsibility to contact the Department of Ecology regarding this permit.

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DARRYL PIERCY, DIRECTOR

ALLISON KIMBALL, ASSISTANT DIRECTOR

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- B. Washington Administrative Code (WAC) 173-400-040 requires that reasonable precautions be taken to prevent dust from leaving the project site. Additionally, dust is prohibited from interfering unreasonably with the use and enjoyment of property, causing health impacts or damaging property or business. As a result, the applicant shall be responsible for creating a site-specific Fugitive Dust Control Plan (FDCP) before starting this project. The plan shall be followed throughout the duration of any activity and construction of the project.

### **III. Water**

- A. Activities such as road widening, stump pulling and clearing, grading and fill work and utility placements may require an NPDES Construction Stormwater Permit issued by the Department of Ecology prior to start of construction. This permit requires the preparation of a Stormwater Pollution Prevention Plan. It is the applicant's responsibility to contact the Department of Ecology.
- B. Stormwater and surface runoff generated from this project shall be treated onsite and shall not be allowed to flow into County road right-of-ways.
- C. Withdrawals of groundwater on the subject property are subject to the rules and regulations adopted and administrated by the Washington State Department of Ecology; this includes the use of water for irrigation. Legally obtained water must be used on-site.
- D. The Graham Family Short Plat (SP-08-02) shall be considered as one project and therefore shall be limited to one groundwater withdrawal exemption for all four (4) proposed lots.
- E. Property owners shall be required to demonstrate compliance with the single project withdrawal limitation of 5,000 gallons to be shared between the four lots.
- F. All wells serving the Graham Family Short Plat (SP-08-02) shall be metered and records documenting water usage shall be kept and made available for public inspection. The cumulative daily withdrawal limit of all wells combined shall not exceed the 5,000 gallon per day exemption set forth by the Department of Ecology.
- G. Washington Administrative Code (WAC) 173-150 provides for the protection of existing rights against impairment, i.e. interruption or interference in the availability of water. If the water supply in your area becomes limited your use could be curtailed by those with senior water rights.

### **IV. Light and Aesthetics**

- A. All outdoor lighting shall be shielded and directed downward to minimize the effect to nearby residential properties.

### **V. Noise**

- A. Development and construction practices for this project shall only occur between the hours of 7:00am to 7:00pm to minimize the effect of construction noise on nearby residential properties.

### **VI. Public Safety**

- A. Addresses of all new residences shall be clearly visible from both directions at the county road.
- B. The applicant shall consult with the local school district to determine a safe location for a school bus stop and said location shall be depicted on the final mylars.

## VII. SEPA Review

This MDNS is issued under WAC 197-11-350. The lead agency will not act on this proposal for 15 days. Any action to set aside, enjoin, review, or otherwise challenge this administrative SEPA action's procedural compliance with the provisions of Chapter 197-11 WAC shall be commenced within 10 working days (on or before 5:00 PM, Friday, May 9, 2008).

**Responsible  
Official:**



Mackenzie Moynihan

**Title:** Staff Planner

**Address:** Kittitas County Community Development Services  
411 North Ruby St., Suite 2  
Ellensburg, WA 98926  
(509) 962-7506 FAX 962-7682

**Date:** April 25, 2008

Pursuant to Chapter 15A.07 KCC, this MDNS may be appealed by submitting specific factual objections in writing with a fee of \$500.00 to the Kittitas County Board of Commissioners, Kittitas County Courthouse Room 110, Ellensburg, WA 98926. Timely appeals must be received no later than 5:00 PM, May 9, 2008. Aggrieved parties are encouraged to contact the Board at (509) 962-7508 for more information on appeal process.

**BOARD OF COUNTY COMMISSIONERS  
COUNTY OF KITTITAS  
STATE OF WASHINGTON**

**ORDINANCE NO. 2008-14**

**GRAHAM REZONE (Z-08-02)  
AND GRAHAM FAMILY SHORT PLAT (SP-08-02)  
IN THE MATTER OF AMENDING THE KITTITAS COUNTY ZONING ATLAS  
FOR A PORTION OF SECTION 04 OF TOWNSHIP 19 N., RANGE 16 E., FROM  
FOREST AND RANGE TO RURAL-3**

**WHEREAS,** according to Kittitas County Code Chapter 17, relating to the zoning of land, adopted pursuant to RCW 58.17, a closed record hearing was held by the Kittitas County Board of Commissioners on July 1, 2008 for the purpose of considering a rezone from Forest & Range to Rural-3 known as the Graham Rezone and described as follows:

Project related rezone of approximately 12.19 acres from Forest and Range to Rural-3 (File No. Z-08-02) with the accompanying Graham Family Short Plat (SP-08-02) to divide the 12.19 acres into 4-lots. Proponent: Richard Graham, landowner. Location south of Interstate-90, off Lower Peoh Point Road, Cle Elum, WA 98922, within a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

**WHEREAS,** testimony was taken from those persons present who wished to be heard; and,

**WHEREAS,** due notice of the hearing had been given as required by law, and the necessary inquiry has been made into the public interest to be served by such change of zone; and,

**WHEREAS,** the Planning Commission recommended denial of said proposed rezone in a 3-1 decision; and,

**WHEREAS,** the following FINDINGS OF FACT have been made concerning said proposed rezone:

1. The Board of County Commissioners finds that Richard Graham, landowner, submitted complete applications to Community Development Services for a rezone from Forest & Range to Rural-3 along with a Short Plat to divide approximately 12.19 acres into 4-lots.
2. The Board of County Commissioners finds that the proposed development is located south of Interstate-90, off Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

3. The Board of County Commissioners finds that the proposed development application included a rezone application from Forest & Range to Rural-3 and a Short Plat to divide approximately 12.19 acres into 4-lots. The lots are all approximately 3.00 acres in size.
4. The Board of County Commissioners finds that the site was accurately posted with the "Land Use Action" sign as provided by Community Development Services and as required by KCC 15A.03.110. The signed Affidavit of Posting was returned to Community Development Services on February 19, 2008.
5. The Board of County Commissioners finds that Community Development Services issued a Notice of Application pursuant to KCC 15A.03 on February 22, 2008. Interested jurisdictional agencies and landowners within 500 feet were notified specifically, as required by law. The Legal Notice of Application was published in the Daily Record on February 22, 2008. Said notices solicited comments from jurisdictional agencies and from the general public.
6. The Board of County Commissioners finds that review under the State Environmental Policy Act (SEPA) was required for this project. Based on review of comments received, a Mitigated Determination of Nonsignificance was issued on April 25, 2008 under WAC 197-11-350.
7. The Board of County Commissioners finds that all conditions of the SEPA Mitigated Determination of Nonsignificance shall be adhered to by the applicant (See Exhibit B).
8. The Board of County Commissioners finds that a plat note shall be added as follows:

*Withdrawals of groundwater on the subject property are subject to the rules and regulations adopted and administered by the Washington State Department of Ecology; this includes the use of water for irrigation. Legally obtained water shall be used on site.*
9. The Board of County Commissioners finds that a plat note shall be added as follows:

*The Graham Family Short Plat (SP-08-02) shall be considered as one project and therefore shall be limited to one groundwater withdrawal exemption for all four (4) proposed lots. All wells serving the Graham Family Short Plat (SP-08-02) shall be metered and records documenting water usage shall be kept and made available for public inspection. The cumulative daily withdrawal limit of all wells combined shall not exceed the 5,000 gallon per day exemption set forth by the Department of Ecology.*
10. The Board of County Commissioners finds that an open record hearing was held on May 27, 2008 and testimony was taken from those persons present who wished to be heard. Due notice of this public hearing was given as required by law, and the necessary inquiry was made into the public interest to be served by this proposed project.

11. The Board of County Commissioners finds that the proposed rezone is consistent with the underlying Comprehensive Plan designation of Rural.
12. The Board of County Commissioners finds that the proposed requested zone change does meet all seven criteria as listed in KCC 17.98.020 and as follows:
  1. The proposed amendment is compatible with the comprehensive plan.
    - a. *The Board of County Commissioners finds that the Proposed Amendment for rezone from Forest & Range to Rural-3 is compatible with the underlying comprehensive plan designation of Rural.*
  2. The proposed amendment bears a substantial relation to the public health, safety or welfare.
    - a. *The Board of County Commissioners finds that if the rezone is consistent with the county's Comprehensive Plan and implements said Comprehensive Plan, then that is a clear indication that the rezone is in the interest of the public health, safety and welfare.*
  3. The proposed amendment has merit and value for Kittitas County or a sub-area of the county.
    - a. *The Board of County Commissioners finds that the proposed rezone will take the pressure off and preserve the agricultural lands in the area. Further, the Comprehensive Plan states that "The current mix of rural uses and densities has not increased the cost to taxpayers for road and utility improvements, police and fire protection, or the education of school populations beyond the means of the local people to finance such infrastructure."*
  4. The proposed amendment is appropriate because of changed circumstances or because of a need for additional property in the proposed zone or because the proposed zone is appropriate for reasonable development of the subject property.
    - a. *The Board of County Commissioners finds that the proposed amendment is appropriate because all of the parcels surrounding the subject property are less than 20 acres in size. For any future development to occur on this property, it will require a rezone.*
  5. The subject property is suitable for development in general conformance with zoning standards for the proposed zone;
    - a. *The Board of County Commissioners finds that both the current zone (Forest & Range) and the proposed zone (Rural-3) are defined as rural lands by the Comprehensive Plan.*
    - b. *The Board of County Commissioners finds that the requested zoning designation is congruous with the underlying comprehensive plan designation and allows similar and compatible uses with those of*

*neighboring properties, and so does not constitute "spot zoning."*

6. The proposed amendment will not be materially detrimental to the use of properties in the immediate vicinity of the subject property.
  - a. *The Board of County Commissioners finds that full build out of the subject property will result in only 3 new residences. The road system is more than adequate to handle this minor increase in traffic.*
7. The proposed changes in use of the subject property shall not adversely impact irrigation water deliveries to other properties.
  - a. *The Board of County Commissioners finds that the subject property is outside of any irrigation district and therefore there will be no impact to irrigation water deliveries.*

**NOW, THEREFORE BE IT HEREBY ORDAINED:** by the Board of County Commissioners of Kittitas County, Washington, that approval is granted for the Graham Rezone by a vote of 3-0 and associated Graham Family Short Plat with the following conditions:

1. Soil logs need to be scheduled and dug at a mutually convenient time. The developer/owner shall provide soil logs as per Chapter 246-272 WAC or as amended. The information obtained will be recorded and placed in the short plat file for future reference. The information obtained from these soil logs is for plat approval purposes only and does not constitute a site evaluation in conjunction with the issuance of a permit for any specific lot.
2. Proof of potable water must be shown prior to final plat approval.
3. For final approval of an individual well, the submittal of well logs or a hydrogeological report with documentation/evidence to support the claim regarding adequate availability of groundwater for the proposed number of potable water wells is required. This report shall be submitted by a Professional Engineer who practices in the field of hydrology or by a licensed Hydrogeologist.
4. All applicants for subdivision utilizing wells shall have a note placed on the face of the final mylar that states: *Kittitas County relies on its record that a supply of potable water exists. The approval of this division of land includes no guarantee or assurance that there is a legal right to withdraw groundwater within the land division.*
5. The applicant shall be responsible for meeting or exceeding all conditions and requirements set forth by the Department of Public Works.
6. Access to Lot 4: The short plat drawing depicts a proposed access location to lot 4; however, no easement is shown where it crosses lot 1. A minimum 20' wide access and utility easement shall be shown for the

proposed access location to lot 4.

7. Access Easements “Q” and “R” – Joint Use Driveway: Access easements “Q” and “R” shall meet current Kittitas County Road Standards for joint accesses. Each joint-use access shall serve no more than two tax parcels. See Kittitas County Road Standards, 9/6/05 edition.
  - a. Access easements shall be a minimum of 20’ wide. The roadway width shall have a minimum width of 12’.
  - b. The surface requirement is for a minimum gravel surface depth of 6”.
  - c. Maintenance of driveway approaches shall be the responsibility of the owner whose property they serve. The County will not maintain accesses.
  - d. Any further subdivision or lots to be served by proposed access may result in further access requirements.
8. Private Road Maintenance Agreement: The applicant shall meet all applicable conditions of any pre-established or required Private Road Maintenance Agreements.
9. Lot Closure: It is the responsibility of the Professional Licensed Surveyor (PLS) to ensure the lot closures are correct and accurate.
10. Access Permit: An approved access permit shall be required from the Department of Public Works prior to creating any new driveway access or performing work within the county road right of way.
11. Addressing: Contact the Kittitas County Rural Addressing Coordinator at (509) 962-7523 to obtain addresses prior to obtaining a building permit. A parcel cannot receive a building permit or utilities until such parcel is identified with a 9-1-1 address.
12. Fire Protection: Contact the Kittitas County Fire Marshal regarding any additional access requirements for Emergency Response.
13. Mailbox Placement: Mailboxes must be approved by the U.S. Postal Service. Mailbox locations are site specific. Contact your local Post Office for location and design standards before beginning construction.
14. Mailbox Placement: The U.S. Postal Service requires that private roads with 6 or more residences install USPS approved Cluster Box Units (CBUs) at a safe location at the mouth of the private road. Contact your local post office for location and additional design requirements before beginning construction.

**BE IT HEREBY ORDAINED:** by the Board of County Commissioners of Kittitas County, Washington, after due deliberation and in the best interest of the public, does hereby approve said zone change of 12.19 acres, from Forest and Range to Rural-3, known as the Graham Rezone, and does hereby authorize the amendment of the Kittitas County Zoning Map as set forth in attached Exhibit A.

ADOPTED this 15<sup>th</sup> day of July 2008.

BOARD OF COUNTY COMMISSIONERS  
KIT TITAS COUNTY, WASHINGTON

  
\_\_\_\_\_  
Mark McClain, Chairman

  
\_\_\_\_\_  
Alan A. Crankovich, Vice-Chairman

  
\_\_\_\_\_  
Linda K. Huber, Commissioner



CLERK OF THE BOARD

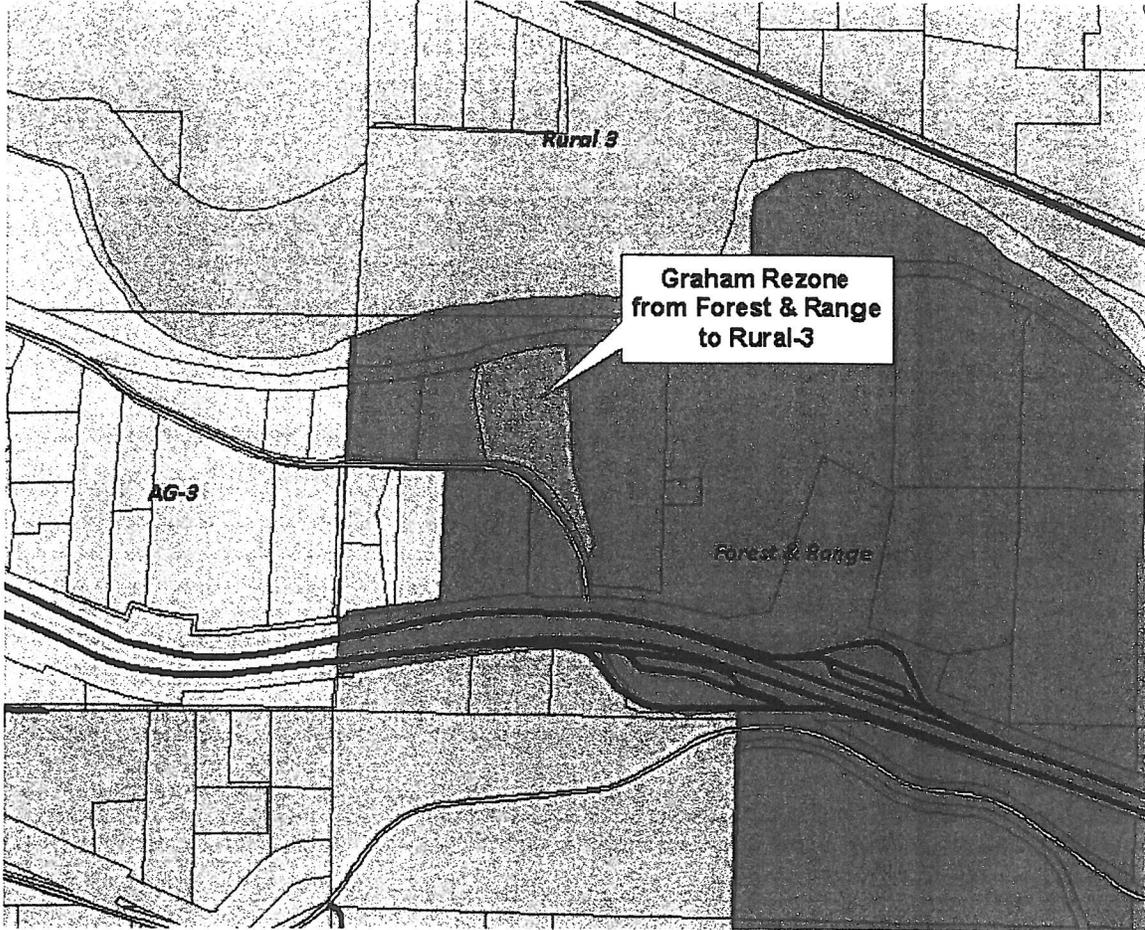
  
\_\_\_\_\_

Julie A. Kjorsvik

APPROVED AS TO FORM:

\_\_\_\_\_

Greg Zempel, Prosecuting Attorney  
WSBA#19125



GRAHAM REZONE (Z-08-02)  
**EXHIBIT A**

## EXHIBIT B

### SEPA MITIGATED DETERMINATION OF NONSIGNIFICANCE

**Project:** Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02)

**Description:** A rezone from Forest & Range to Rural-3 together with a Short Plat to subdivide approximately 12.19 acres of land into four (4) lots.

**Proponent:** Richard Graham  
PO Box 1026  
Cle Elum, WA 98922

**Location:** The project is located south of Interstate 90, off Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

**Lead Agency:** Kittitas County Community Development Services

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request. The lead agency for this proposal has also determined that certain mitigation measures are necessary in order to issue a Determination of Non-Significance for this proposal. Failure to comply with the mitigation measures identified hereafter will result in the issuance of a Determination of Significance (DS) for this project. These mitigation measures include the following:

**The following conditions shall also apply based on the project specific analysis:**

#### **I. Transportation**

- A. The applicant shall be responsible for meeting or exceeding all conditions and requirements set forth by the Department of Public Works, as listed in the attached memorandum.
- B. A minimum 20' wide access and utility easement shall be shown on the final mylars for the proposed access location to Lot 4 of the Graham Family Short Plat.

#### **II. Air**

- A. If the applicant plans to burn trees or debris from the property, the applicant shall obtain a burn permit from the Department of Ecology. Only natural unprocessed

vegetation may be burned in an outdoor fire. It is the applicant's responsibility to contact the Department of Ecology regarding this permit.

- B. Washington Administrative Code (WAC) 173-400-040 requires that reasonable precautions be taken to prevent dust from leaving the project site. Additionally, dust is prohibited from interfering unreasonably with the use and enjoyment of property, causing health impacts or damaging property or business. As a result, the applicant shall be responsible for creating a site-specific Fugitive Dust Control Plan (FDCP) before starting this project. The plan shall be followed throughout the duration of any activity and construction of the project.

### **III. Water**

- A. Activities such as road widening, stump pulling and clearing, grading and fill work and utility placements may require an NPDES Construction Stormwater Permit issued by the Department of Ecology prior to start of construction. This permit requires the preparation of a Stormwater Pollution Prevention Plan. It is the applicant's responsibility to contact the Department of Ecology.
- B. Stormwater and surface runoff generated from this project shall be treated onsite and shall not be allowed to flow into County road right-of-ways.
- C. Withdrawals of groundwater on the subject property are subject to the rules and regulations adopted and administrated by the Washington State Department of Ecology; this includes the use of water for irrigation. Legally obtained water must be used on-site.
- D. The Graham Family Short Plat (SP-08-02) shall be considered as one project and therefore shall be limited to one groundwater withdrawal exemption for all four (4) proposed lots.
- E. Property owners shall be required to demonstrate compliance with the single project withdrawal limitation of 5,000 gallons to be shared between the four lots.
- F. All wells serving the Graham Family Short Plat (SP-08-02) shall be metered and records documenting water usage shall be kept and made available for public inspection. The cumulative daily withdrawal limit of all wells combined shall not exceed the 5,000 gallon per day exemption set forth by the Department of Ecology.
- G. Washington Administrative Code (WAC) 173-150 provides for the protection of existing rights against impairment, i.e. interruption or interference in the availability of water. If the water supply in your area becomes limited your use could be curtailed by those with senior water rights.

### **IV. Light and Aesthetics**

- A. All outdoor lighting shall be shielded and directed downward to minimize the effect to nearby residential properties.

### **V. Noise**

- A. Development and construction practices for this project shall only occur between the

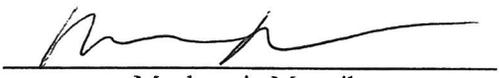
hours of 7:00am to 7:00pm to minimize the effect of construction noise on nearby residential properties.

**VI. Public Safety**

- A. Addresses of all new residences shall be clearly visible from both directions at the county road.
- B. The applicant shall consult with the local school district to determine a safe location for a school bus stop and said location shall be depicted on the final mylars.

**VII. SEPA Review**

This MDNS is issued under WAC 197-11-350. The lead agency will not act on this proposal for 15 days. Any action to set aside, enjoin, review, or otherwise challenge this administrative SEPA action's procedural compliance with the provisions of Chapter 197-11 WAC shall be commenced within 10 working days (on or before 5:00 PM, Friday, May 9, 2008).

**Responsible Official:**   
Mackenzie Moynihan

**Title:** Staff Planner

**Address:** Kittitas County Community Development Services  
411 North Ruby St., Suite 2  
Ellensburg, WA 98926  
(509) 962-7506 FAX 962-7682

**Date:** April 25, 2008

Pursuant to Chapter 15A.07 KCC, this MDNS may be appealed by submitting specific factual objections in writing with a fee of \$500.00 to the Kittitas County Board of Commissioners, Kittitas County Courthouse Room 110, Ellensburg, WA 98926. Timely appeals must be received no later than 5:00 PM, May 9, 2008. Aggrieved parties are encouraged to contact the Board at (509) 962-7508 for more information on appeal process.

# Northern Kittitas County Tribune

P.O. Box 308  
 Cle Elum, WA 98922  
 (509) 674-2511



## Invoice

**Bill To:**

Kittitas County Community Development  
 Services  
 411 N. Ruby, Suite 2  
 Ellensburg, WA 98926

Invoice #: 00054757  
 Date: 7/24/08  
 Page: 1

DATE	DESCRIPTION	AMOUNT
7/24/08	Notice of Decision Graham Rezone (Z-08-02)/Graham Family Short Plat (SP-08-02)	\$88.00
		Sales Tax: \$0.00
		Total Amount: \$88.00
		Amount Applied: \$0.00
		<i>Balance Due:</i> \$88.00

**RECEIVED**  
 AUG 11 2008  
 KITTITAS COUNTY  
 CDS

Terms: Net EOM after EOM

**AFFIDAVIT OF PUBLICATION**

STATE OF WASHINGTON

COUNTY OF KITTITAS

} SS

JANA E. STONER, being duly sworn on oath, deposes and says that she is the publisher of the *NORTHERN KITTITAS COUNTY TRIBUNE*, a weekly newspaper. That said newspaper is a legal newspaper and has been approved as a legal newspaper by order of the Superior Court in the county in which it is published and it is now and has been for more than six months prior to the date of the publications hereinafter referred to, published in the English language continually as a weekly newspaper in Cle Elum, Kittitas County, Washington, and is now and during all of said time was published in an office maintained at the aforesaid place of publication of said newspaper. That the annexed is a true copy of

NOTICE OF DECISION

GRAHAM REZONE (Z-08-02)

GRAHAM FAMILY SHORT PLAT (SP-08-02)

as it was published in regular issues (and not in supplement form) of said newspaper once a

week for a period of one consecutive weeks,

commencing on the 24TH day of

JULY

, 2008 and ending on

the 24TH day of JULY, 2008,

both dates inclusive, and that such newspaper was regularly distributed to its subscribers during all of said period. That the full amount of the fee charged for the foregoing publication is the

sum of \$ 88<sup>00</sup>, which amount has been paid in full.

Jana E. Stoner

Subscribed and sworn to before me this 30<sup>th</sup> day of

July

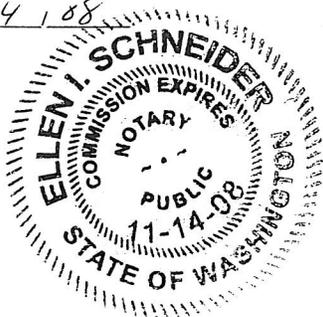
, 2008.

Ellen I. Schneider

Notary Public in and for the State of Washington, residing at

No. Cle Elum La 98943

County of Kittitas. Expires 11/14/08

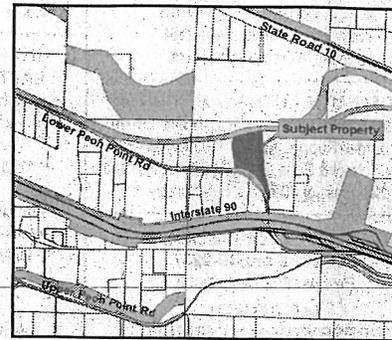


**Notice of Decision**

**Graham Rezone (Z-08-02)**

**Graham Family Short Plat (SP-08-02)**

Pursuant to RCW 36.70B.130 and KCC 15A.06, notice is hereby given that the Kittitas County Board of County Commissioners granted approval for the Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02) on July 15, 2008. Propo-



nent: Richard Graham, landowner, for a project related rezone from Forest & Range to Rural-3 along with a Short Plat to divide the 12.19 acres into 4-lots. The project is located south of Interstate-90, off Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

Copies of the Kittitas County Board of Commissioners Ordinance 2008-14 and related file documents may be examined at Kittitas County Community Development Services, 411 N. Ruby Suite 2, Ellensburg, WA 98926; (509) 962-7506, or on the CDS website at <http://www.co.kittitas.wa.us/cds/current/>. Issuance of this land use decision may be appealed by parties with standing, by filing a land use petition in Superior Court, and serving said petition on all required parties pursuant to RCW 36.70C and KCC 15A.08, within twenty-one days of the issuance of the land use decision.

Dated: July 23, 2008

(Published in the N.K.C. TRIBUNE, July 24, 2008.)

# AFFIDAVIT OF PUBLICATION

State of Washington, County of Kittitas, ss: Diane Ewing being first duly sworn on oath, deposes and says: That she is the Office Manager of the Daily Record, a daily newspaper. That said newspaper is a legal newspaper and has been approved as a legal newspaper by order of the superior court in the county in which it is published and it is now and has been for more than six months prior to the date of the publications hereinafter referred to, published in the English language continually as a newspaper in Ellensburg, Kittitas County, Washington, and it is now and during all of said time printed in an true copy of

## **NOTICE OF DECISION** **Graham Rezone (Z-08-02)** **Graham Family Short Plat (SP-08-02)**

As is published in regular issues (and not in supplement form) of said newspaper once a week for a period of 1 consecutive week(s), commencing on the following days.

**JULY 23, 2008**

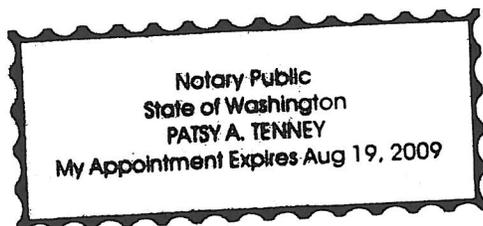
All dates inclusive and that such newspaper were regularly distributed to its subscribers during all of said period. That the full amount of the fee charged for the foregoing publication is the sum of 80.83 rate of \$5.30 per column inch for each insertion.

Diane Ewing

Subscribed to me this 5 day of August, 2008.

Patsy A Tenney  
-----  
PATSY A TENNEY

Notary Public in and for  
The State of Washington  
Residing at Ellensburg,  
Washington (SEAL)



RECEIVED

AUG 11 2008

KITTITAS COUNTY  
CDS

**Notice of Decision  
Graham Rezone (Z-08-02)  
Graham Family Short Plat  
(SP-08-02)**

Pursuant to RCW 36.70B.130 and K 15A.06, notice is hereby given that Kittitas County Board of County Commissioners granted approval for the Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02) on July 15, 2008. Proponent: Richard Graham, landowner for a project related rezone from Forest Range to Rural-3 along with a Short Plat divide the 12.19 acres into 4-lots. The project is located south of Interstate-90, Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.



Copies of the Kittitas County Board of County Commissioners Ordinance 2008-14 and related file documents may be examined at Kittitas County Community Development Service, 411 N. Ruby Suite 2, Ellensburg, WA 98922 (509) 962-7506, or on the CDS website: <http://www.co.kittitas.wa.us/cds/current>. Issuance of this land use decision may be appealed by parties with standing, by filing a land use petition in Superior Court, and serving said petition on all required parties pursuant to RCW 36.70C and KCC 15A.06 within twenty-one days of the issuance of the land use decision.

Dated: July 23, 2008  
Publish: July 23, 2008, Daily Record  
Publish: July 24, 2008, NKC Tribune

INVOICE FOR CLASSIFIED ADVERTISING		MAKE CHECKS PAYABLE TO →	
CLASS	AD TYPE	INS.	AMOUNT
009	1a	1	\$60.00
AGATES	LINES	WORDS	INCHES
1	1	21	7.0
EDITIONS			AD TAKER
01			RM
COST # 2010PHONE			
(SOFTLINE) 52-7506			
START DATE		DEADLINE/STOP DATE	
07/23/08		07/23/08	

10

**DAILY RECORD**  
401 N. Main St. • Ellensburg, WA 98926 • (509) 925-1414

20104728 - 03523348  
Kittitas County Community  
Development Services  
411 N. Ruby, Suite 2  
Ellensburg, WA 98926

**INVOICES ARE DUE IN 10 DAYS**

Phone: (509) 674-7433 Fax: (509) 674-7419

TO Kittitas County CDS  
Ellensburg WA 98926

DATE	8-6-08	JOB NO.	07206
ATTENTION	Mackenzie		
RE:	Graham Family Short Plat Mylars		
<b>RECEIVED</b>			
AUG 06 2008			
<b>KITTITAS COUNTY CDS</b>			

WE ARE SENDING YOU  Attached  Under separate cover via \_\_\_\_\_

- Shop drawings     Prints     Plans     Samples     Specifications  
 Copy of letter     Change order     \_\_\_\_\_

the following items:

COPIES	DATE	NO.	DESCRIPTION
2			Pg 1 of 2 Mylars for Graham Family SP
1			Pg 2 of 2 Paper copy of dedication & notes sheet
1			Lot Closures (Updated)
1			Print of Treasures page showing a \$0- balance

THESE ARE TRANSMITTED as checked below:

- For approval     Approved as submitted     Resubmit \_\_\_\_\_ copies for approval  
 For your use     Approved as noted     Submit \_\_\_\_\_ copies for distribution  
 As requested     Returned for corrections     Return \_\_\_\_\_ corrected prints  
 For review and comment     \_\_\_\_\_  
 FOR BIDS DUE \_\_\_\_\_     PRINTS RETURNED AFTER LOAN TO US

REMARKS Thanks Mackenzie

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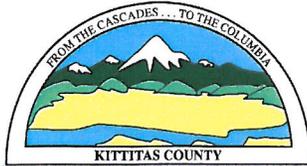
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COPY TO \_\_\_\_\_

SIGNED: 



## KITTTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

"Building Partnerships – Building Communities"

### AGENDA STAFF REPORT

**AGENDA DATE:** July 15, 2008

**ACTION REQUESTED:** Sign the ordinance approving the project related Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02)

---

**BACKGROUND:**

Richard Graham, landowner, submitted a project related rezone of approximately 12.19 acres from Forest & Range to Rural-3 along with a Short Plat to divide the 12.19 acres into 4-lots.

The subject property is located south of Interstate-90, off Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

The Kittitas County Comprehensive Plan's Land Use Element designates the subject property as Rural and the current zoning of the property is Forest & Range.

Community Development Services Department issued a Notice of Application, pursuant to KCC 15A.03, on February 22, 2008.

Kittitas County Community Development Services issued a SEPA Mitigated Determination of Non-Significance (MDNS) on April 25, 2008. No appeals were received.

On May 27, 2008 the Kittitas County Planning Commission held an open record hearing to consider the Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02) where testimony was received. The Planning Commission passed a motion by a vote of 3-1 (one member absent) to forward a recommendation of denial for the Graham Rezone.

The Board of County Commissioners did, on June 17, 2008, set a closed record hearing for the July 1, 2008 agenda.

The Board of County Commissioners held a Closed Record Hearing on July 1, 2008 and voted 3-0 to approve the rezone. Staff was directed to prepare enabling documents.

**RECOMMENDATION:** Review and sign the attached ordinance to approve the project related Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02)

**HANDLING:** Forward signed ordinance to CDS staff for Notice of Decision.

**ATTACHMENTS:** Ordinance

**LEAD STAFF:** Mackenzie Moynihan, Staff Planner

---

DARRYL PIERCY, DIRECTOR

ALLISON KIMBALL, ASSISTANT DIRECTOR

COMMUNITY PLANNING • BUILDING INSPECTION • PLAN REVIEW • ADMINISTRATION • PERMIT SERVICES • CODE ENFORCEMENT • FIRE INVESTIGATION

**BOARD OF COUNTY COMMISSIONERS  
COUNTY OF KITTITAS  
STATE OF WASHINGTON**

**ORDINANCE NO. 2008-14**

**GRAHAM REZONE (Z-08-02)  
AND GRAHAM FAMILY SHORT PLAT (SP-08-02)  
IN THE MATTER OF AMENDING THE KITTITAS COUNTY ZONING ATLAS  
FOR A PORTION OF SECTION 04 OF TOWNSHIP 19 N., RANGE 16 E., FROM  
FOREST AND RANGE TO RURAL-3**

**WHEREAS,** according to Kittitas County Code Chapter 17, relating to the zoning of land, adopted pursuant to RCW 58.17, a closed record hearing was held by the Kittitas County Board of Commissioners on July 1, 2008 for the purpose of considering a rezone from Forest & Range to Rural-3 known as the Graham Rezone and described as follows:

Project related rezone of approximately 12.19 acres from Forest and Range to Rural-3 (File No. Z-08-02) with the accompanying Graham Family Short Plat (SP-08-02) to divide the 12.19 acres into 4-lots. Proponent: Richard Graham, landowner. Location south of Interstate-90, off Lower Peoh Point Road, Cle Elum, WA 98922, within a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

**WHEREAS,** testimony was taken from those persons present who wished to be heard; and,

**WHEREAS,** due notice of the hearing had been given as required by law, and the necessary inquiry has been made into the public interest to be served by such change of zone; and,

**WHEREAS,** the Planning Commission recommended denial of said proposed rezone in a 3-1 decision; and,

**WHEREAS,** the following FINDINGS OF FACT have been made concerning said proposed rezone:

1. The Board of County Commissioners finds that Richard Graham, landowner, submitted complete applications to Community Development Services for a rezone from Forest & Range to Rural-3 along with a Short Plat to divide approximately 12.19 acres into 4-lots.
2. The Board of County Commissioners finds that the proposed development is located south of Interstate-90, off Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

3. The Board of County Commissioners finds that the proposed development application included a rezone application from Forest & Range to Rural-3 and a Short Plat to divide approximately 12.19 acres into 4-lots. The lots are all approximately 3.00 acres in size.
4. The Board of County Commissioners finds that the site was accurately posted with the "Land Use Action" sign as provided by Community Development Services and as required by KCC 15A.03.110. The signed Affidavit of Posting was returned to Community Development Services on February 19, 2008.
5. The Board of County Commissioners finds that Community Development Services issued a Notice of Application pursuant to KCC 15A.03 on February 22, 2008. Interested jurisdictional agencies and landowners within 500 feet were notified specifically, as required by law. The Legal Notice of Application was published in the Daily Record on February 22, 2008. Said notices solicited comments from jurisdictional agencies and from the general public.
6. The Board of County Commissioners finds that review under the State Environmental Policy Act (SEPA) was required for this project. Based on review of comments received, a Mitigated Determination of Nonsignificance was issued on April 25, 2008 under WAC 197-11-350.
7. The Board of County Commissioners finds that all conditions of the SEPA Mitigated Determination of Nonsignificance shall be adhered to by the applicant (See Exhibit B).
8. The Board of County Commissioners finds that a plat note shall be added as follows:

*Withdrawals of groundwater on the subject property are subject to the rules and regulations adopted and administered by the Washington State Department of Ecology; this includes the use of water for irrigation. Legally obtained water shall be used on site.*
9. The Board of County Commissioners finds that a plat note shall be added as follows:

*The Graham Family Short Plat (SP-08-02) shall be considered as one project and therefore shall be limited to one groundwater withdrawal exemption for all four (4) proposed lots. All wells serving the Graham Family Short Plat (SP-08-02) shall be metered and records documenting water usage shall be kept and made available for public inspection. The cumulative daily withdrawal limit of all wells combined shall not exceed the 5,000 gallon per day exemption set forth by the Department of Ecology.*
10. The Board of County Commissioners finds that an open record hearing was held on May 27, 2008 and testimony was taken from those persons present who wished to be heard. Due notice of this public hearing was given as required by law, and the necessary inquiry was made into the public interest to be served by this proposed project.

11. The Board of County Commissioners finds that the proposed rezone is consistent with the underlying Comprehensive Plan designation of Rural.
12. The Board of County Commissioners finds that the proposed requested zone change does meet all seven criteria as listed in KCC 17.98.020 and as follows:
  1. The proposed amendment is compatible with the comprehensive plan.
    - a. *The Board of County Commissioners finds that the Proposed Amendment for rezone from Forest & Range to Rural-3 is compatible with the underlying comprehensive plan designation of Rural.*
  2. The proposed amendment bears a substantial relation to the public health, safety or welfare.
    - a. *The Board of County Commissioners finds that if the rezone is consistent with the county's Comprehensive Plan and implements said Comprehensive Plan, then that is a clear indication that the rezone is in the interest of the public health, safety and welfare.*
  3. The proposed amendment has merit and value for Kittitas County or a sub-area of the county.
    - a. *The Board of County Commissioners finds that the proposed rezone will take the pressure off and preserve the agricultural lands in the area. Further, the Comprehensive Plan states that "The current mix of rural uses and densities has not increased the cost to taxpayers for road and utility improvements, police and fire protection, or the education of school populations beyond the means of the local people to finance such infrastructure."*
  4. The proposed amendment is appropriate because of changed circumstances or because of a need for additional property in the proposed zone or because the proposed zone is appropriate for reasonable development of the subject property.
    - a. *The Board of County Commissioners finds that the proposed amendment is appropriate because all of the parcels surrounding the subject property are less than 20 acres in size. For any future development to occur on this property, it will require a rezone.*
  5. The subject property is suitable for development in general conformance with zoning standards for the proposed zone;
    - a. *The Board of County Commissioners finds that both the current zone (Forest & Range) and the proposed zone (Rural-3) are defined as rural lands by the Comprehensive Plan.*
    - b. *The Board of County Commissioners finds that the requested zoning designation is congruous with the underlying comprehensive plan designation and allows similar and compatible uses with those of*

*neighboring properties, and so does not constitute "spot zoning."*

6. The proposed amendment will not be materially detrimental to the use of properties in the immediate vicinity of the subject property.
  - a. *The Board of County Commissioners finds that full build out of the subject property will result in only 3 new residences. The road system is more than adequate to handle this minor increase in traffic.*
7. The proposed changes in use of the subject property shall not adversely impact irrigation water deliveries to other properties.
  - a. *The Board of County Commissioners finds that the subject property is outside of any irrigation district and therefore there will be no impact to irrigation water deliveries.*

**NOW, THEREFORE BE IT HEREBY ORDAINED:** by the Board of County Commissioners of Kittitas County, Washington, that approval is granted for the Graham Rezone by a vote of 3-0 and associated Graham Family Short Plat with the following conditions:

1. Soil logs need to be scheduled and dug at a mutually convenient time. The developer/owner shall provide soil logs as per Chapter 246-272 WAC or as amended. The information obtained will be recorded and placed in the short plat file for future reference. The information obtained from these soil logs is for plat approval purposes only and does not constitute a site evaluation in conjunction with the issuance of a permit for any specific lot.
2. Proof of potable water must be shown prior to final plat approval.
3. For final approval of an individual well, the submittal of well logs or a hydrogeological report with documentation/evidence to support the claim regarding adequate availability of groundwater for the proposed number of potable water wells is required. This report shall be submitted by a Professional Engineer who practices in the field of hydrology or by a licensed Hydrogeologist.
4. All applicants for subdivision utilizing wells shall have a note placed on the face of the final mylar that states: *Kittitas County relies on its record that a supply of potable water exists. The approval of this division of land includes no guarantee or assurance that there is a legal right to withdraw groundwater within the land division.*
5. The applicant shall be responsible for meeting or exceeding all conditions and requirements set forth by the Department of Public Works.
6. Access to Lot 4: The short plat drawing depicts a proposed access location to lot 4; however, no easement is shown where it crosses lot 1. A minimum 20' wide access and utility easement shall be shown for the

proposed access location to lot 4.

7. Access Easements “Q” and “R” – Joint Use Driveway: Access easements “Q” and “R” shall meet current Kittitas County Road Standards for joint accesses. Each joint-use access shall serve no more than two tax parcels. See Kittitas County Road Standards, 9/6/05 edition.
  - a. Access easements shall be a minimum of 20’ wide. The roadway width shall have a minimum width of 12’.
  - b. The surface requirement is for a minimum gravel surface depth of 6”.
  - c. Maintenance of driveway approaches shall be the responsibility of the owner whose property they serve. The County will not maintain accesses.
  - d. Any further subdivision or lots to be served by proposed access may result in further access requirements.
8. Private Road Maintenance Agreement: The applicant shall meet all applicable conditions of any pre-established or required Private Road Maintenance Agreements.
9. Lot Closure: It is the responsibility of the Professional Licensed Surveyor (PLS) to ensure the lot closures are correct and accurate.
10. Access Permit: An approved access permit shall be required from the Department of Public Works prior to creating any new driveway access or performing work within the county road right of way.
11. Addressing: Contact the Kittitas County Rural Addressing Coordinator at (509) 962-7523 to obtain addresses prior to obtaining a building permit. A parcel cannot receive a building permit or utilities until such parcel is identified with a 9-1-1 address.
12. Fire Protection: Contact the Kittitas County Fire Marshal regarding any additional access requirements for Emergency Response.
13. Mailbox Placement: Mailboxes must be approved by the U.S. Postal Service. Mailbox locations are site specific. Contact your local Post Office for location and design standards before beginning construction.
14. Mailbox Placement: The U.S. Postal Service requires that private roads with 6 or more residences install USPS approved Cluster Box Units (CBUs) at a safe location at the mouth of the private road. Contact your local post office for location and additional design requirements before beginning construction.

**BE IT HEREBY ORDAINED:** by the Board of County Commissioners of Kittitas County, Washington, after due deliberation and in the best interest of the public, does hereby approve said zone change of 12.19 acres, from Forest and Range to Rural-3, known as the Graham Rezone, and does hereby authorize the amendment of the Kittitas County Zoning Map as set forth in attached Exhibit A.

ADOPTED this \_\_\_\_\_ day of \_\_\_\_\_ 2008.

BOARD OF COUNTY COMMISSIONERS  
KITITITAS COUNTY, WASHINGTON

\_\_\_\_\_  
Mark McClain, Chairman

\_\_\_\_\_  
Alan A. Crankovich, Vice-Chairman

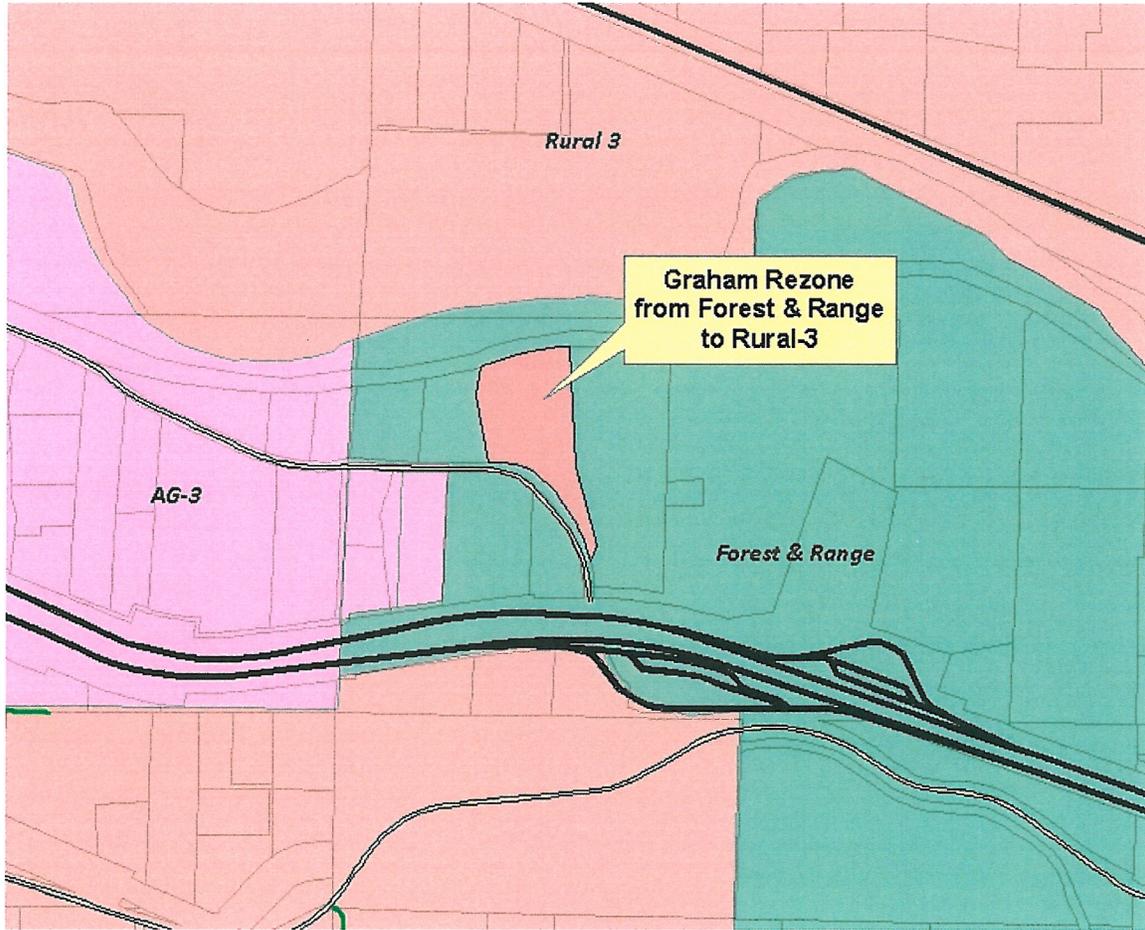
\_\_\_\_\_  
Linda K. Huber, Commissioner

ATTEST:  
CLERK OF THE BOARD

APPROVED AS TO FORM:

\_\_\_\_\_  
Julie A. Kjorsvik

\_\_\_\_\_  
Greg Zempel, Prosecuting Attorney  
WSBA#19125



GRAHAM REZONE (Z-08-02)  
**EXHIBIT A**

## EXHIBIT B

### SEPA MITIGATED DETERMINATION OF NONSIGNIFICANCE

**Project:** Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02)

**Description:** A rezone from Forest & Range to Rural-3 together with a Short Plat to subdivide approximately 12.19 acres of land into four (4) lots.

**Proponent:** Richard Graham  
PO Box 1026  
Cle Elum, WA 98922

**Location:** The project is located south of Interstate 90, off Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

**Lead Agency:** Kittitas County Community Development Services

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public on request. The lead agency for this proposal has also determined that certain mitigation measures are necessary in order to issue a Determination of Non-Significance for this proposal. Failure to comply with the mitigation measures identified hereafter will result in the issuance of a Determination of Significance (DS) for this project. These mitigation measures include the following:

**The following conditions shall also apply based on the project specific analysis:**

#### **I. Transportation**

- A. The applicant shall be responsible for meeting or exceeding all conditions and requirements set forth by the Department of Public Works, as listed in the attached memorandum.
- B. A minimum 20' wide access and utility easement shall be shown on the final mylars for the proposed access location to Lot 4 of the Graham Family Short Plat.

#### **II. Air**

- A. If the applicant plans to burn trees or debris from the property, the applicant shall obtain a burn permit from the Department of Ecology. Only natural unprocessed

vegetation may be burned in an outdoor fire. It is the applicant's responsibility to contact the Department of Ecology regarding this permit.

- B. Washington Administrative Code (WAC) 173-400-040 requires that reasonable precautions be taken to prevent dust from leaving the project site. Additionally, dust is prohibited from interfering unreasonably with the use and enjoyment of property, causing health impacts or damaging property or business. As a result, the applicant shall be responsible for creating a site-specific Fugitive Dust Control Plan (FDCP) before starting this project. The plan shall be followed throughout the duration of any activity and construction of the project.

### **III. Water**

- A. Activities such as road widening, stump pulling and clearing, grading and fill work and utility placements may require an NPDES Construction Stormwater Permit issued by the Department of Ecology prior to start of construction. This permit requires the preparation of a Stormwater Pollution Prevention Plan. It is the applicant's responsibility to contact the Department of Ecology.
- B. Stormwater and surface runoff generated from this project shall be treated onsite and shall not be allowed to flow into County road right-of-ways.
- C. Withdrawals of groundwater on the subject property are subject to the rules and regulations adopted and administrated by the Washington State Department of Ecology; this includes the use of water for irrigation. Legally obtained water must be used on-site.
- D. The Graham Family Short Plat (SP-08-02) shall be considered as one project and therefore shall be limited to one groundwater withdrawal exemption for all four (4) proposed lots.
- E. Property owners shall be required to demonstrate compliance with the single project withdrawal limitation of 5,000 gallons to be shared between the four lots.
- F. All wells serving the Graham Family Short Plat (SP-08-02) shall be metered and records documenting water usage shall be kept and made available for public inspection. The cumulative daily withdrawal limit of all wells combined shall not exceed the 5,000 gallon per day exemption set forth by the Department of Ecology.
- G. Washington Administrative Code (WAC) 173-150 provides for the protection of existing rights against impairment, i.e. interruption or interference in the availability of water. If the water supply in your area becomes limited your use could be curtailed by those with senior water rights.

### **IV. Light and Aesthetics**

- A. All outdoor lighting shall be shielded and directed downward to minimize the effect to nearby residential properties.

### **V. Noise**

- A. Development and construction practices for this project shall only occur between the

hours of 7:00am to 7:00pm to minimize the effect of construction noise on nearby residential properties.

**VI. Public Safety**

- A. Addresses of all new residences shall be clearly visible from both directions at the county road.
- B. The applicant shall consult with the local school district to determine a safe location for a school bus stop and said location shall be depicted on the final mylars.

**VII. SEPA Review**

This MDNS is issued under WAC 197-11-350. The lead agency will not act on this proposal for 15 days. Any action to set aside, enjoin, review, or otherwise challenge this administrative SEPA action's procedural compliance with the provisions of Chapter 197-11 WAC shall be commenced within 10 working days (on or before 5:00 PM, Friday, May 9, 2008).

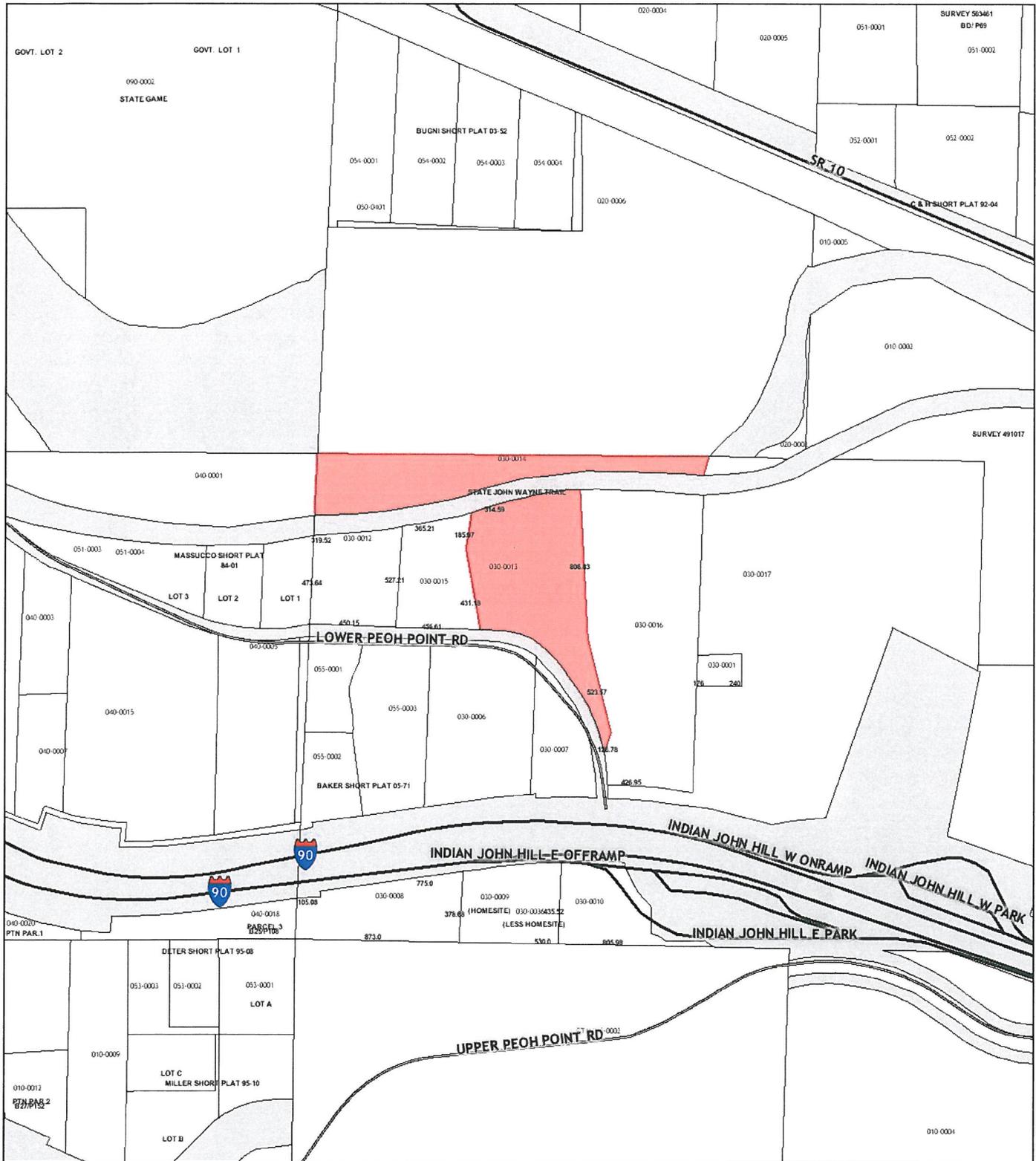
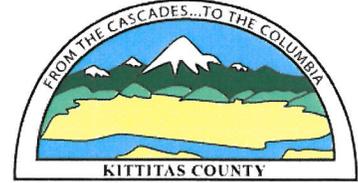
**Responsible Official:** \_\_\_\_\_  
Mackenzie Moynihan

**Title:** Staff Planner

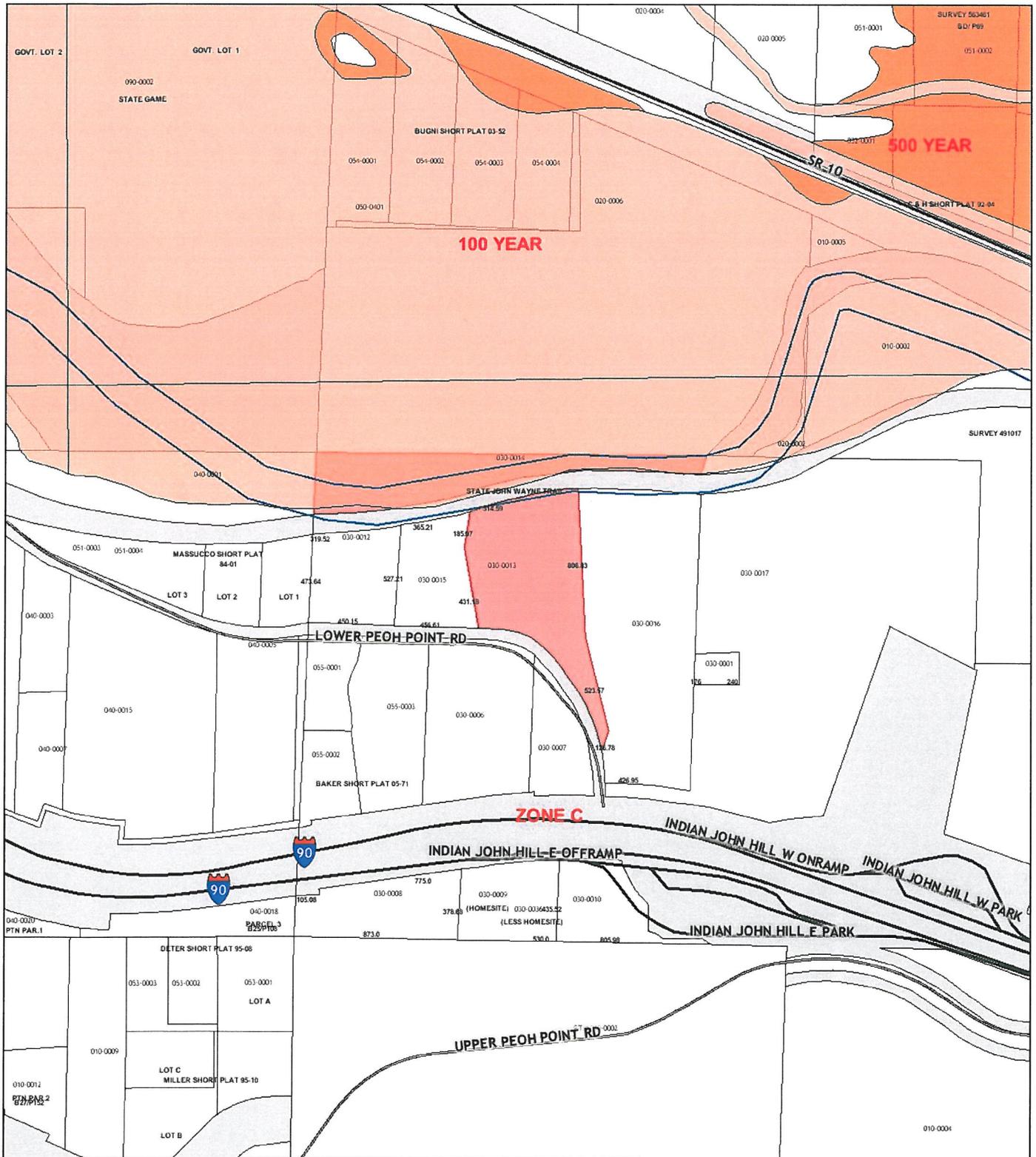
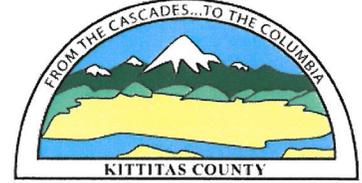
**Address:** Kittitas County Community Development Services  
411 North Ruby St., Suite 2  
Ellensburg, WA 98926  
(509) 962-7506 FAX 962-7682

**Date:** April 25, 2008

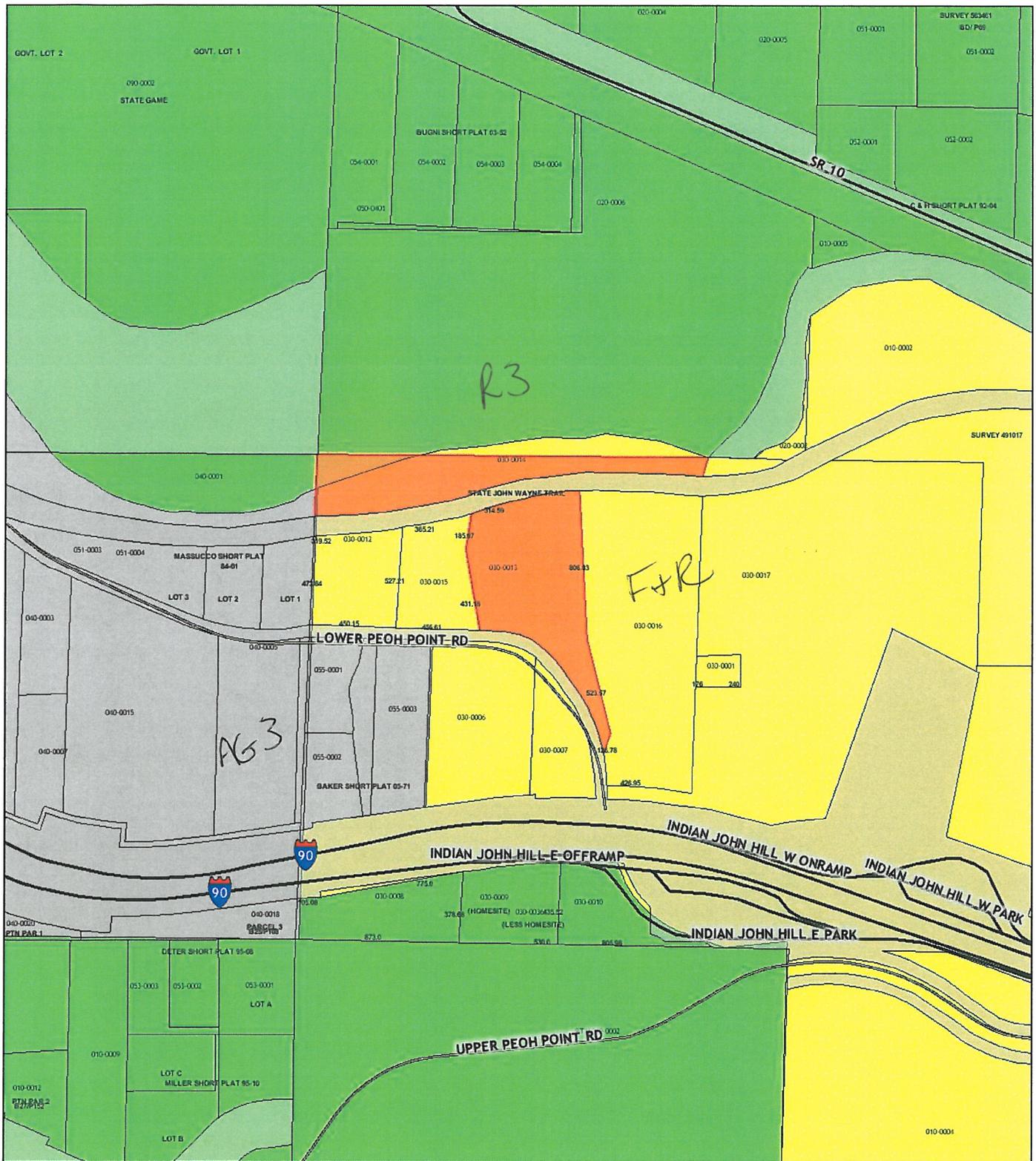
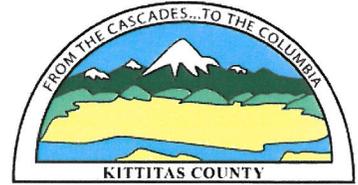
Pursuant to Chapter 15A.07 KCC, this MDNS may be appealed by submitting specific factual objections in writing with a fee of \$500.00 to the Kittitas County Board of Commissioners, Kittitas County Courthouse Room 110, Ellensburg, WA 98926. Timely appeals must be received no later than 5:00 PM, May 9, 2008. Aggrieved parties are encouraged to contact the Board at (509) 962-7508 for more information on appeal process.



Disclaimer: Kittitas County makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data provided, its use, or its interpretation. Kittitas County does not guarantee the accuracy of the material contained herein and is not responsible for any misuse or representations by others regarding this information or its derivatives.



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**KITTITAS COUNTY  
COMMISSIONERS AGENDA  
TUESDAY JULY 15, 2008 - 10:00 A.M.**

**Commissioners Auditorium  
205 West 5<sup>th</sup> Room 109 - Ellensburg**

**THE AGENDA STUDY SESSION WILL  
BE HELD ON MONDAY AT 10:30 A.M. IN THE COMMISSIONERS AUDITORIUM**

1. **Call to Order**
2. **Pledge of Allegiance**
3. **Introduction of New County Employees**
4. **Proclamations**
5. **Awards and Recognitions**

a. Certificate of Appreciation for Carrie Panattoni

6. **Approval of Agenda**
7. **CONSENT AGENDA**

All matters listed within the Consent Agenda have been distributed to each member of the Kittitas County Board of Commissioners for reading and study. They are considered routine and will be enacted by one motion of the Commissioners with no separate discussion. If separate discussion is desired, that item may be removed by request from the Consent Agenda and placed under Board Discussion/Decision Items.

- a. Approve Minutes
- b. Request from HopeSource to Approve a Grant Application to Apply for THOR Expansion Funding
- c. Request to Approve Contract Amendment #2 with the State of Washington, Division Developmental Disabilities
- d. Request to Approve Contract Amendment #2 between Kittitas County and Elmview
- e. Request to Approve a Corrected Contract for Yakima Juvenile Detention
- f. Request to Approve a Resolution Establishing an Operating Advance for the Kittitas County Fair
- g. Request to Approve a Resolution Changing Petty Cash Accounts
- h. Request to Approve an Interlocal Cooperation Agreement to provide Mutual Aid & Mobilization between Ellensburg Police Department, Central Washington University Police Department, Kittitas Police Department, Cle Elum/Roslyn/South Cle Elum Police Department and the Kittitas County Sheriff's Office
- i. Request to Approve and Authorize the Chair to Sign the Final Mylars for the Suncadia Phase 1 Division 12 Binding Site Plan
- j. Request to Approve a Resolution Approving the Sunset Farms Preliminary Plat (P-07-60)
- k. Request to Approve a Resolution Remanding the Firkins Rezone (Z-08-01) and Firkins Preliminary Plat (P-08-02)
- l. Request to Approve an Ordinance Approving the Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02)
- m. Request to Approve a Resolution Granting Preliminary Approval to the Ponderosa Pines Preliminary Plat (P-07-42)
- n. Request to Set a Closed Record Hearing to Consider the Whitaker Rezone (Z-06-41) *gpl*
- o. Request to Approve a Resolution Rejecting All Bids for the Courthouse Curtainwall Replacement Project
- p. Request to Approve an Addendum to a Lease with Jack Clerf for Property Located within the Bowers Field Airport
- q. Request to Approve a Notice of Public Hearing to Consider a Lease of County Property within the Airport Binding Site Plan
- r. Request to Approve a Notice of Public Hearing to Consider a Lease of County Property within the Airport Binding Site Plan Specifically the Eastern Portions of Lots H-45/46 and Lots H-43/44
- s. Request to Approve an Interlocal Agreement between State Parks and Kittitas County Noxious Weed Control Board

*pull to board discussion*

- 8. Correspondence
- 9. Administrative Matters
- 10. Citizen Comments on Non-Agenda Items
- 11. Board Discussion/Decision Items

- a. Resolution Denying the Thunder Ridge Preliminary Plat (P-07-23) *Aug 19*
- b. Conduct a Closed Record Hearing to Consider the Henley Rezone (Z-07-10)
- c. Appointments to the Upper County Ground Water Advisory Committee
- d. Appeal hearing continued from June 30, 2008 to consider enabling documents upholding the decision made by Kittitas County Community Development Services denying the Marchel Boundary Line Adjustment (BL-08-00020) (The record is closed)

- 12. *e.* Miscellaneous
- 13. Executive Session
- 14. Adjournment

**TIMED ITEMS**

(All public hearings will be heard in the following order)

**2:00 P.M. PUBLIC HEARING continued from July 1, 2008** to consider the lease of Lot H-35 of the Kittitas County Airport Binding Site Plan in Section 25, Township 18, Range 18, Kittitas County. (The record is closed).

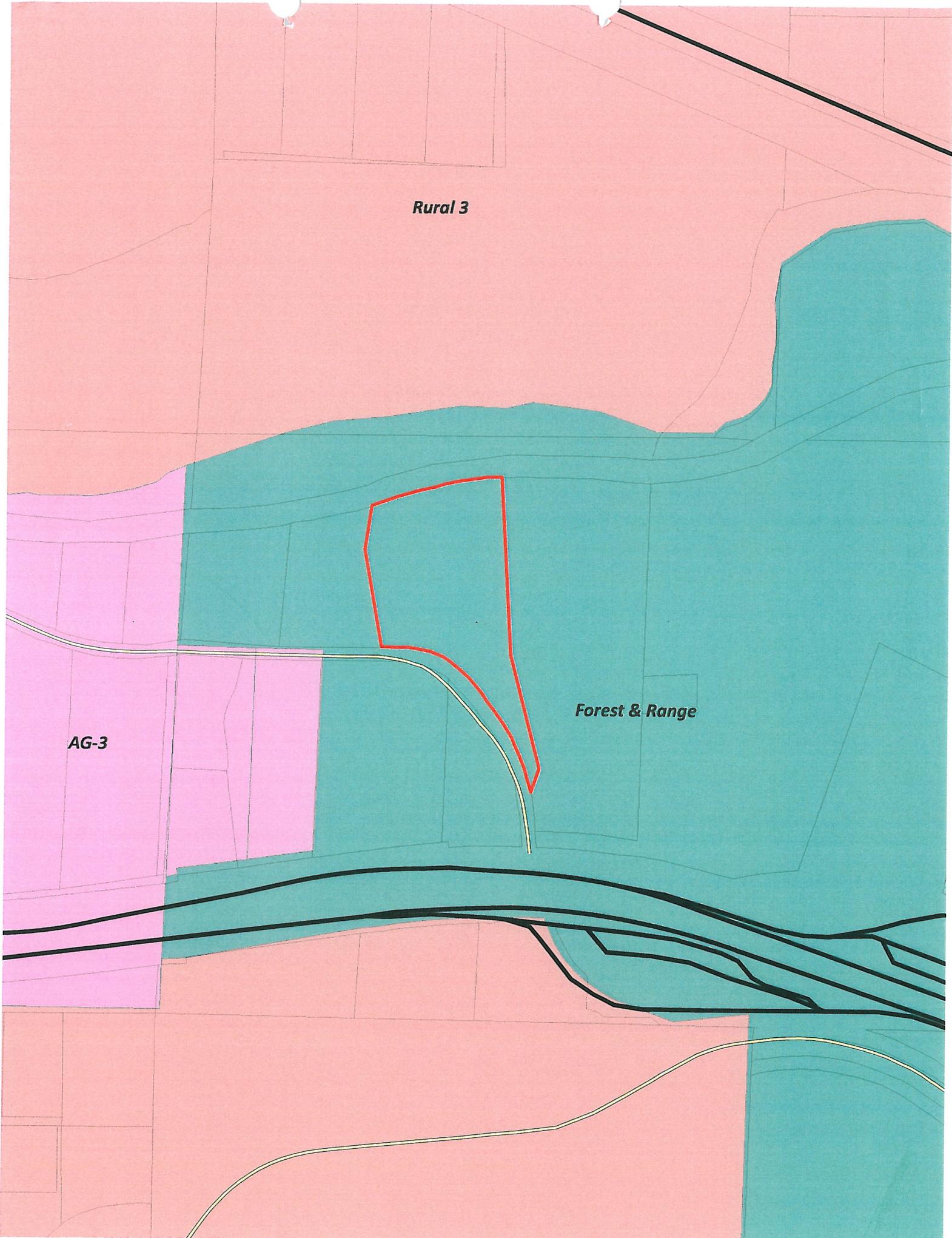
**PUBLIC HEARING** to consider the reduction of speed on Sisters Road, Kittitas County.

**PUBLIC HEARING** to consider the designation of traffic control on Patrick's Park Road, White Pine Road, Red Cedar Drive and Evergreen Valley Loop Road, Kittitas County.

*Rural 3*

*AG-3*

*Forest & Range*



# Kittitas County Planning Commission

May 27, 2008

## Graham Rezone and Graham Family Short Plat

Z-08-02 and SP-08-02

Good evening. For the record, Mackenzie Moynihan, Staff Planner. Tonight I will be presenting for you the Graham Rezone and the Graham Family Short Plat.

motion by Larry Fuller

- denial

seconded by David

Jason - no

Grant - yes

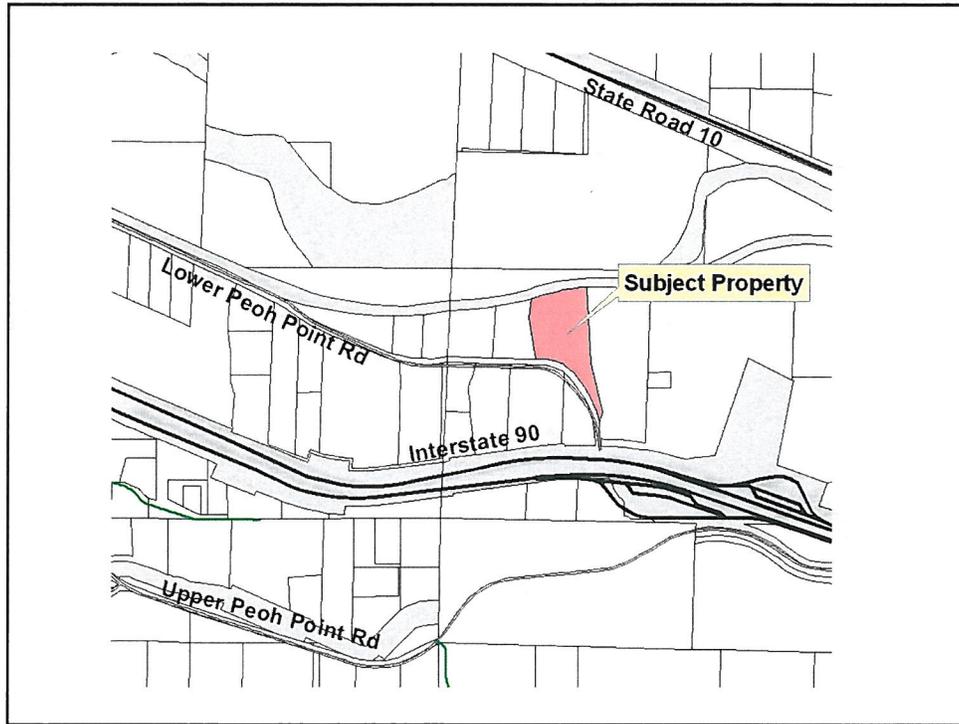
David - yes

Larry - yes

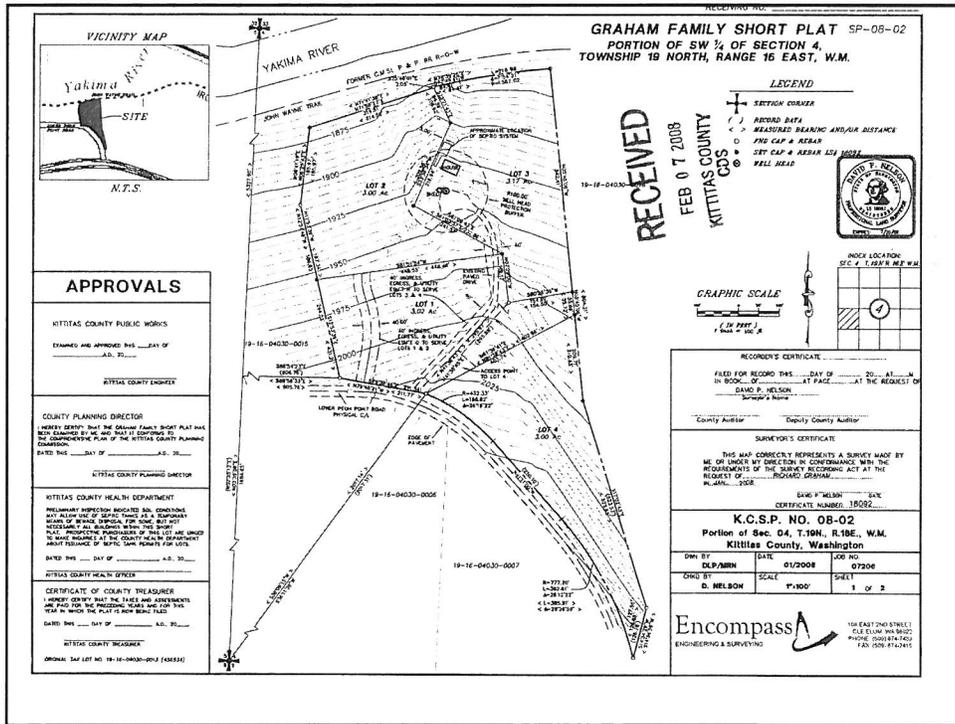
## Overview of Proposal

- Rezone approximately 12.19 acres from Forest & Range to Rural-3
- Short Plat the 12.19 Acres into 4-lots
- Subject property is located south of Interstate 90, off of Lower Peoh Point Road
- Submitted by Richard Graham, landowner
- SEPA MDNS issued April 25, 2008 – no appeals were received

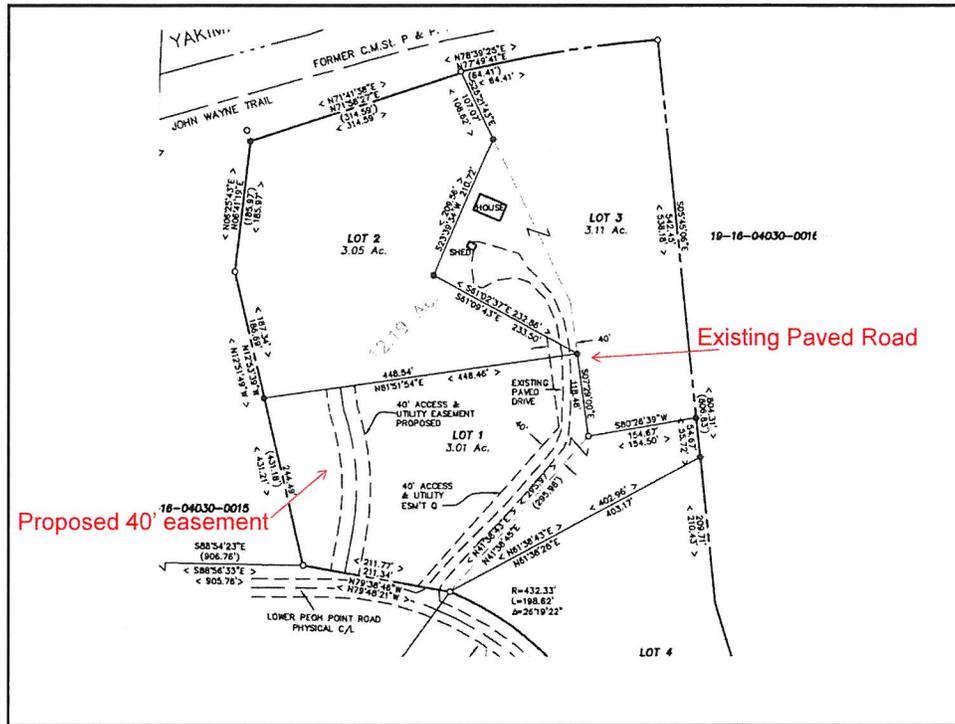
This application is a request by Richard Graham, landowner, to rezone 1 parcel totaling approximately 12.19 acres from Forest & Range to Rural-3. This rezone, if approved, would be followed by the proposed Graham Family Short Plat, an application to divide the 12.19 acres into 4-lots. The subject property is located south of Interstate 90, off of Lower Peoh Point Road, Cle Elum, WA and is located in a portion of section 04, township 19 north, range 16 east, in Kittitas County. The specific Tax parcel number can be found in your packets.



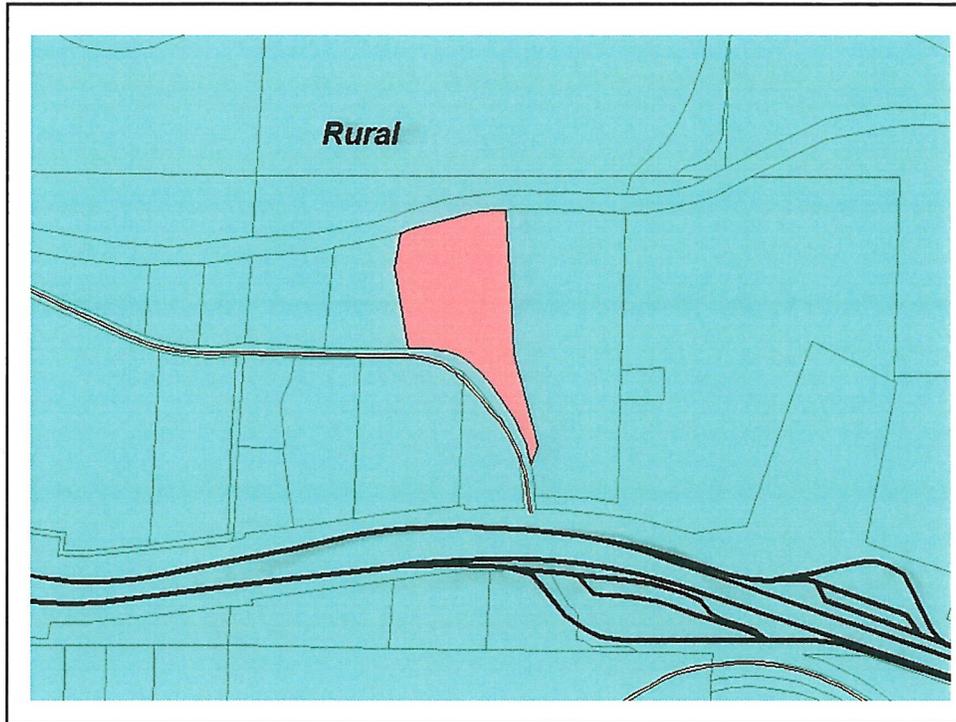
Here you can see the approximate location of the subject property. The easement shown on the north edge of the property is the John Wayne Trail.



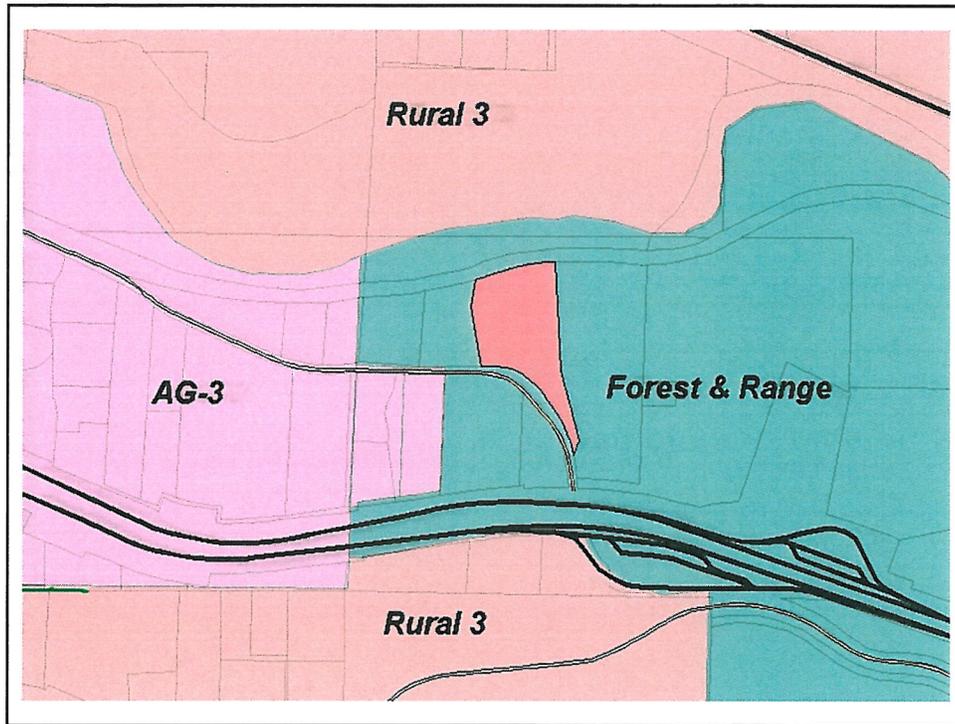
The subject property is located outside of any irrigation districts. The applicant proposed individual wells and septic systems for this project. Because this is one project with one single exemption from the Department of Ecology, the wells will be required to be metered. The single groundwater exemption of 5,000 gallons per day shall be shared between the 4 proposed lots. Individual septic systems are allowed.



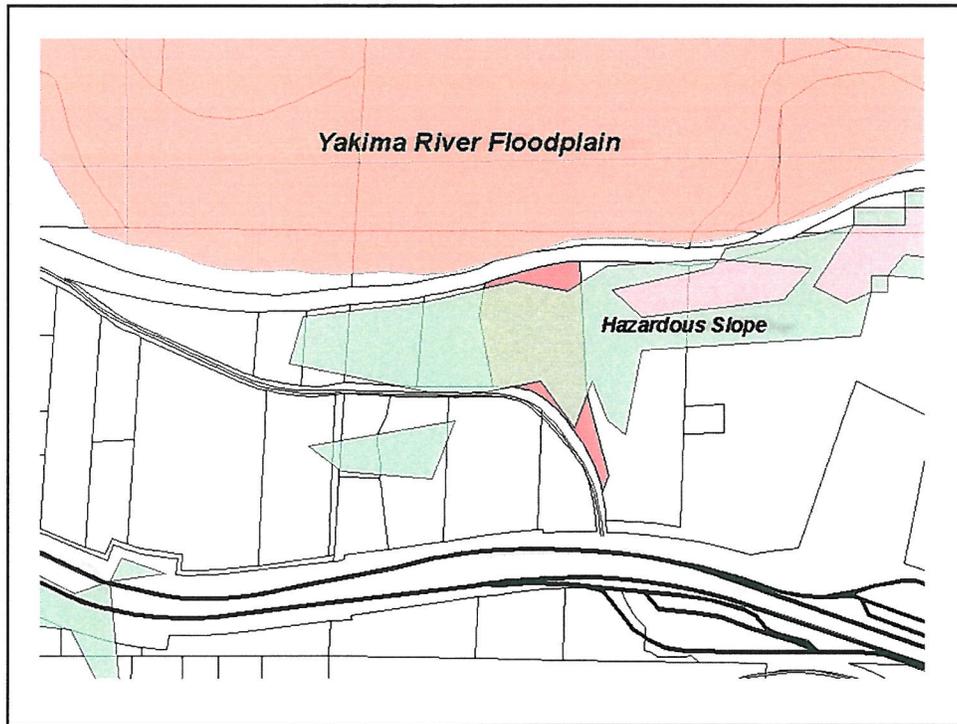
Proposed access to the plat will be off of County maintained Lower Peosh Point Road onto a private 40' access & Utility easement (easement Q) that is already paved. The applicant is also proposing a new 40' easement to use to access Lot 2 of the Short Plat.



The county's comprehensive code designates the property as Rural. These areas are characterized by lands that can support residential development along with farming, mining and forestry.



The property is currently zoned Forest & Range. The subject property is entirely surrounded by Forest & Range zoning, however there is Ag-3 and Rural-3 zoning in the general vicinity. The applicant is proposing a zone change from Forest & Range to Rural-3.

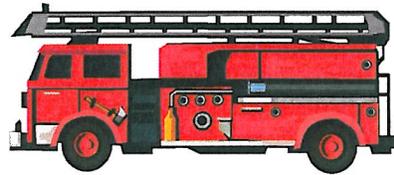


An administrative site analysis was completed by Community Development Services in compliance with Title 17A. The only noted critical area affecting the subject property are some areas of steep slope, some in excess of 30%. The Yakima River Floodplain is across the John Wayne Trail and does not affect the proposed short plat property.

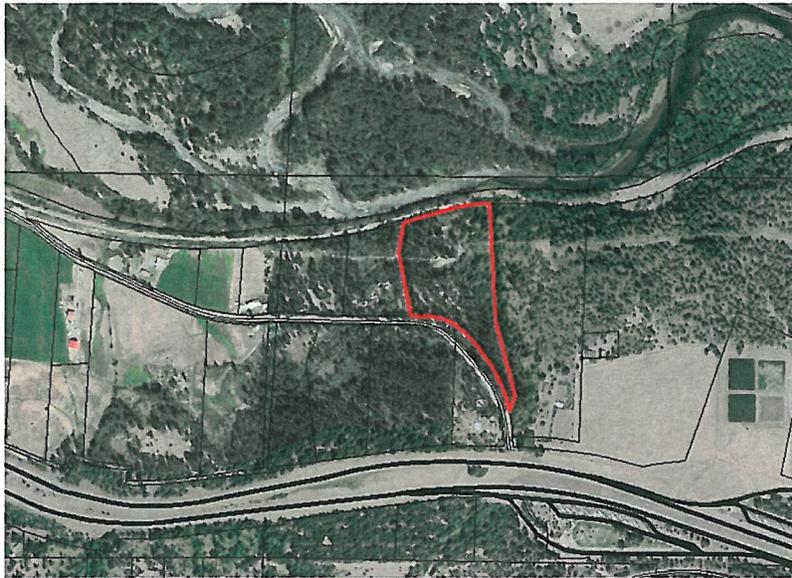
**Cle Elum Roslyn School District #404**



**Kittitas County Fire District # 7**



The property is located within the Cle Elum Roslyn School District 404 and is located within Fire District # 7



**AERIAL PHOTO – GRAHAM SHORT PLAT**

Here you can see an aerial photo of the project site, including the John Wayne Trail and the Yakima River to the north of the property. The project site itself is hilly and as you can see, has a lot of trees.



## Notices

- Application received February 7, 2008
- Affidavit of Posting was signed and returned to CDS on February 19, 2008
- Notice of Application was issued and published on February 22, 2008 in the Daily Record
- Comments were received from Department of Ecology, Department of Public Works, Kittitas County Environmental Health, Kittitas Reclamation District, CTED
- A SEPA MDNS was issued on April 25, 2008

In review: A complete application was submitted to Community Development Services on February 7, 2008. The "Land Use Action" sign was posted at the site as required by KCC 15A.03.110 and the signed Affidavit of Posting was returned to CDS on February 19, 2008. The Notice of Application was issued and published in the Daily Record on February 22, 2008. Comments were received from the Department of Ecology, Kittitas County Department of Public Works, Kittitas County Environmental Health, CTED and the Kittitas Reclamation District. These comments are included in your packets for your review. A SEPA MDNS was issued on April 25, 2008 and no appeals were received.

## Mackenzie Moynihan

---

**From:** Mackenzie Moynihan  
**Sent:** Friday, May 30, 2008 8:01 AM  
**To:** 'Richard Graham'  
**Cc:** 'Noah Goodrich'  
**Subject:** RE: Graham Rezone (Z-08-02)

Dear Mr. Graham,

According to County records and our GIS system your parcel that is on the north side of the John Wayne Trail is also zoned Forest & Range, not Rural-3. This is why, when the application was submitted, it was recommended to Encompass that you include that lot in the rezone and make it a "lot 5" even if it wasn't a buildable lot (for the record, the county does not determine whether lots are buildable or not). This would have allowed that "island parcel" to be rezoned to rural-3 along with the parcel we presented to the planning commission and thus it would not have appeared to be a "spot zone" change.

Your initial application included the "Island parcel" to the north in the rezone application (to be rezoned from F&R to Rural-3), but this parcel was not included in the short plat application (as an additional lot, buildable or not). We cannot process a rezone of a tax parcel that is not simultaneously included in either a short plat or a long plat. This is why your initial application had to be revised in order to be accepted by the county and in order to adhere to county code.

If you were told that your "island parcel" was already zoned Rural-3, according to county records you were misinformed.

However, that said, I would just like to remind you that just because the Planning Commission recommends denial of a project does not mean it is a done deal. The rezone will still be presented to the Board of County Commissioners and they ultimately make the final decision. The Planning Commission merely makes a recommendation that we, the staff planners, forward to the BOCC. The BOCC often overturns whatever recommendation the Planning Commission makes. It happens all the time.

Regarding the colored zoning maps, the ones that I included in my presentation are the only ones we have. They were directly from our GIS system and they do show the "island parcel" as being zoned Forest & Range. I do not believe my presentation was flawed or incomplete. I used the information I have available to me, as it is, and put together the presentation just like I do for every other applicant.

If you have further questions or need further assistance or would like to discuss this in more depth, please let me know. I believe this is an issue that needs to be taken up with Encompass rather than with the county.

Mackenzie Moynihan, Staff Planner  
Kittitas County Community Development Services  
411 North Ruby Street, Suite 2  
Ellensburg, WA 98926  
[mackenzie.moynihan@co.kittitas.wa.us](mailto:mackenzie.moynihan@co.kittitas.wa.us)  
Phone: 509.962.7024 Fax: 509.962.7682

*All e-mail sent to this address will be received by the Kittitas County e-mail system and may be subject to Public Disclosure under Chapter 42.56 RCW and is subject to archiving and review by someone other than the recipient.*

---

**From:** Richard Graham [mailto:richardgraham886@hotmail.com]

**Sent:** Friday, May 30, 2008 5:13 AM

**To:** Goodrich, Noah; Mackenzie Moynihan

**Subject:** Graham Rezone (Z-08-02)

As you know, my original rezone application was denied as it contained a second lot. This is a 3ac parcel adjoining and north of the 12.19 acre lot now in the rezone application process, reference above. At the time of this denial, I was informed that this 3 ac parcel was already partially zoned F&R and partially rural 3.

None of the colored zoning maps used at the presentations at the open record public hearing this week (5/27/08) showed color zoning designations for this 3 ac parcel. Thus the major point of 12.19ac request to be rezoned rural 3 as being a logical and contiguous progression was lost on the planning commissioners. Visually it appeared to be a request for an inconsistent island of rural 3 zoning in a sea of existing Forest & Range zoning, instead of an extension of hundreds of existing rural 3 acre zoned parcels.

As the commissioners said, "It's the same problem as the previous previous petition, (Furgeson or some such), A SPOT REZONE!" Later oral comments, including my own, about the incomplete color maps fell on deaf ears, the damage had been done.

The commissioners voted to recommend denial of my application. This was neither fair, right or reasonable. However, based on the flawed and incomplete presentation (colored zoning maps), well ???

In any event, I would like to see complete colored zoning maps and then I will determine if a petition to set aside the commissioner's denial recommendation should be made, along with a request for a new hearing.

Or what do you advise as to how to set the record straight, so that my application can see the light of a full and fair presentation before this goes any further.

Thank you,

Richard Graham

## **Mackenzie Moynihan**

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Exhibit No.: A  
Hearing: Planning Commission  
Date: 5-27-08  
Submitted by: CDS

**From:** Noah Goodrich [ngoodrich@encompasses.net]  
**Sent:** Wednesday, May 14, 2008 9:44 AM  
**To:** Richard Graham; Mackenzie Moynihan  
**Subject:** RE: Bus Stop/Final

Good morning Mackenzie. Richard has done his due diligence in regards to the bus stop requirement. Based on the comment below, the school district does not want to alter the existing stop on Lower Peoh Point Road. Please include this information into the permanent record for project rezone. Thanks again,

### **Noah Goodrich**

Encompass Engineering & Surveying  
108 East 2nd Street  
Cle Elum, WA 98922  
Phone: (509) 674-7433  
Fax: (509) 674-7419  
[ngoodrich@encompasses.net](mailto:ngoodrich@encompasses.net)  
[www.encompasses.net](http://www.encompasses.net)

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---

**From:** Richard Graham [mailto:richardgraham886@hotmail.com]  
**Sent:** Wednesday, May 14, 2008 8:50 AM  
**To:** Noah Goodrich  
**Subject:** FW: Bus Stop/Final

Noah,

This is the result of a handfull of emails and a meeting I had with Barr.

Richard

---

From: barr@cleelum.wednet.edu  
To: richardgraham886@hotmail.com  
Date: Tue, 13 May 2008 16:42:30 -0700  
Subject: Bus Stop

RE: our conversation today. Our policy is to provide safe and accessible bus stops. As you know, our school year involves between four and six months of adverse weather. This would prevent us from using the end of the Lower Peoh Point road as a turn around due to the grade of the hill, and the potential of

sliding on the ice and snow. Therefore, The bus stop for your development would be the existing turn around that is maintained and signed as a bus turn around by the county. I am not sure of the physical location, but it is located next to #7151 Lower Peoh Point, the Massucco property. I hope this helps you. If you have further questions, please feel free to contact me.

***Greg Barr***

Transportation Manager  
Cle Elum Roslyn S.D.  
O. 509 649 4855  
C. 509 304 6024  
[barrg@cleelum.wednet.eduprevent](mailto:barrg@cleelum.wednet.eduprevent)

## -AGENDA-

# KITTITAS COUNTY PLANNING COMMISSION MEETING

Tuesday May 27, 2008 @ 6:30 pm – COMMISSIONERS' AUDITORIUM - 205 W. Fifth Street, Ellensburg

### Procedure for Participation – Please Sign in Legibly - When Recognized:

- State your name, address and whether you are representing only yourself or others. All remarks/comments should be addressed to the Board as a body and not to any specific member or the audience. Questions should be addressed to the Chairman.
- Please limit Applicant Presentation to fifteen (15) minutes; Public Testimony to three (3) minutes.
- Submit all written comments or other media to the Planning Commission Clerk as an exhibit for the permanent record.

I. Call to order and introduction of members and staff.

II. Correspondence

III. Minutes – May 13, 2008 meeting

IV. Old Business

**A. Ponderosa Pines 12-lot Preliminary Plat (P-07-42)**

1. Board approval of Findings of Fact to support decision rendered at the May 13, 2008 Planning Commission meeting.

**B. Henley Rezone (Z-07-10)**

Application for a rezone of 49.48 acres from Ag-20 to Ag-5 (File No. Z-2007-10), submitted by Henley Group LTD, landowner. Location: west of Bettas Road and west of SR-97, Cle Elum, WA 98922, within a portion of Section 4, T19N, R17E, WM, in Kittitas County. Assessor's map number 19-17-04051-0001.

1. Planning Commission Deliberation and motion.

**C. Thunder Ridge Plat (P-07-23)**

Application to divide 8.02 acres into 8 lots that range from 0.83 acres to 1.34 acres in size, submitted by Chuck Cruse of Cruse and Associates, landowner. Location: east of the City of Cle Elum located off Deer Meadow Drive, Cle Elum, WA 98922, within parts of Section 25, T20N, T20N, R15E, WM in Kittitas County, Map number 20-15-25056-0002.

1. Staff Presentation.
2. Applicant Presentation.
3. Public Testimony.
4. Planning Commission deliberation.
5. Motion.

#### **IV. New Business**

##### **A. Sunset Farms Preliminary Plat (P-07-60)**

Application to divide two parcels totaling approximately 20 acres into a total of 6 lots ranging in size from 3.24 acres to 3.74 acres, submitted by Terry Ostergaard, authorized agent for Gene Lamoureux, landowner. Location: east of the City of Kittitas, south of Vantage Highway and north of Sunset Road, Ellensburg, WA 98926, and located in a portion of Sections 02 and 03, T17N, WM, in Kittitas County. Map numbers 17-20-03000-0002 and 17-20-02000-0009.

1. Staff Presentation.
2. Applicant Presentation.
3. Public Testimony.
4. Planning Commission deliberation.
5. Motion.

##### **B. Firkins Rezone & Firkins Plat (Z-08-01) & (P-08-02)**

Application for a project related rezone from Agriculture-20 to Agriculture-3 along with a preliminary plat application proposing to subdivide approximately 15.03 acres of land into 5 lots, submitted by Cam Sherwood authorized agent for Charles Firkins, landowner. Location: east of the City of Ellensburg, north of Vantage Highway, east of Wilson Creek Road, on Game Farm Road, Ellensburg, WA 98926, and is located in portion of Section 29, T18N, R19E, WM, in Kittitas County. Map number 18-19-29040-0008 and 18-19-29040-0009.

1. Staff Presentation.
2. Applicant Presentation.
3. Public Testimony.
4. Planning Commission deliberation.
5. Motion.

##### **C. Graham Rezone & Graham Family Short Plat ( Z-08-02) & (SP-08-02)**

Application for a rezone of one parcel from Forest & Range to Rural -3, followed by the Graham Family Short Plat (SP-08-02) to subdivide the approximately 12.19 acre parcel into 4-lots, submitted by Richard Graham, landowner. Location: south of Interstate 90, off Lower Peoh Point Road, Cle Elum, WA 98922, and is located in a portion of Section 04, T19N, R16E, WM, in Kittitas County. Map number 19-16-04030-0013.

1. Staff Presentation.
2. Applicant Presentation.
3. Public Testimony.
4. Planning Commission deliberation.
5. Motion.



STATE OF WASHINGTON

DEPARTMENT OF COMMUNITY, TRADE AND ECONOMIC DEVELOPMENT

128 - 10<sup>th</sup> Avenue SW • PO Box 42525 • Olympia, Washington 98504-2525 • (360) 725-4000

August 5, 2008

Mackenzie Moynihan  
Staff Planner  
Kittitas County Community Development Services  
411 North Ruby Street Suite 2  
Ellensburg, Washington 98926

Dear Ms. Moynihan:

Thank you for sending the Washington State Department of Community, Trade and Economic Development (CTED) the following materials as required under RCW 36.70A.106. Please keep this letter as documentation that you have met this procedural requirement.

**County of Kittitas - Adopted Ordinance 2008-14 site rezone (SP-08-02) and (Z-08-02), amending the zoning atlas for a portion of section 04 of township 19N., Range 16E., from Forest and Range to Rural-3. These materials were received on 07/25/2008 and processed with the Material ID # 13274.**

We have forwarded a copy of this notice to other state agencies. If this is a draft amendment, adopted amendments should be sent to CTED within ten days of adoption and to any other state agencies who commented on the draft.

If you have any questions, please call me at (360) 725-3045.

Sincerely,

*Cynthia L. Ritchey*  
*for*

Joyce Phillips  
Growth Management Planner  
Growth Management Services

Enclosure

**KITTITAS COUNTY PLANNING COMMISSION MEETING  
Tuesday, June 10, 2008 @ 6:30 P.M.**

COMMISSIONER'S AUDITORIUM  
205 W. Fifth Street, Ellensburg

**I. Call to order and introduction of members and staff.**

**Chairman Black** called the meeting to order at 6:30 p.m.

Those present: Chairman David Black, Grant Clark, Larry Fuller, Kim Green and Jason Grant no members were absent.

Also present: CDS Assistant Director Allison Kimball; CDS Staff Planners Scott Turnbull, Dan Valoff, Mackenzie Moynihan and Kari Braniff, Public Works Randy Carbary, Clerk Lindsay Watkins and approximately 5 individuals representing applicants and public interest.

**II. Correspondence**

**II. Approval of Minutes**

**Larry Fuller** moved to approve May 27, 2008 Planning Commission minutes as written. **Grant Clark** seconded and the motion carried with all in favor.

**III. Old Business**

**A. Henley Rezone (Z-07-10)**

Chair opened Hearing for Findings of Fact.

**Grant Clark** moved to pass Henley Rezone (Z-07-10) Findings of Fact. **Larry Fuller** seconded and the motion passed with all in favor.

**B. Thunder Ridge Plat (P-07-23)**

Chair opened Hearing for Findings of Fact.

**Larry Fuller** moved to pass Thunder Ridge Plat (P-07-23) Findings of Fact. **Grant Clark** seconded and the motion passed with all in favor.

**C. Sunset Farms Preliminary Plat (P-07-60)**

Chair opened Hearing for Findings of Fact.

**Grant Clark** moved to pass Sunset Farms Preliminary Plat (P-07-60) Findings of Fact. **Larry Fuller** seconded and the motion passed with all in favor.

**D. Firkins Rezone & Firkins Plat (Z-08-01) & (P-08-02)**

Chair opened Hearing for Findings of Fact.

**Grant Clark** moved to pass Firkins Rezone (Z-08-01) & Firkins Family Preliminary Plat (P-08-02) Findings of Fact. **Larry Fuller** seconded and the motion passed majority in favor and **Jason Grant** declining.

**E. Graham Rezone & Graham Family Short Plat (Z-08-02) & (SP-08-02)**

**Chair opened Hearing for Findings of Fact.**

**Grant Clark moved to pass Graham Rezone (Z-08-02) & Graham Family Short Plat (SP-08-02) Findings of Fact. Larry Fuller seconded and the motion passed with all in favor.**

**IV. New Business**

**A. Finley Rezone (Z-08-04) and Finley Preliminary Plat (P-08-05)**

**Chair opened Hearing for Staff Presentation.**

CDS Staff Planner, **Mackenzie Moynihan** read portions of her staff report into the record. Attached hereto and incorporated is a copy of that staff report.

**Chair opened Hearing for Applicant Presentation.**

**Noah Goodrich**, Encompass and Surveying, 108 East 2<sup>nd</sup> Street, Cle Elum, WA 98922, stated he agreed with the staff presentation and gave a brief overview of his presentation and submitted **Exhibits A, B, C and D** into the record.

**Chair opened Hearing for Public Testimony.**

**Sandford Kinzer**, 820 Bare Road, Ellensburg, WA 98926, stated the Planning Commission Board denied a similar rezone in the past and should deny this rezone as well.

**Grant** asked if Mr. Kinzer if he signed a court appeals form.

**Kinzer** stated he did.

**Chris Gaidos**, 2603 West Willis Road, Ellensburg, WA 98926, stated he has no concerns with the rezone what so ever he is just concerned with water and wants to make sure there will be no restrictions from its current path right now.

**Stacy Finley**, 4352 Hawk Street, San Diego, CA 92123, stated she is a widower and the reason for the request of a rezone is to sell off parcels so she doesn't have to sell her home that her husband and she built.

**Goodrich** stated he didn't know about that and referred the question to Dave Nelson.

**Green** asked about an underground pipe.

**Dave Nelson**, 707 Tamarack Road, Ellensburg, WA 98926, stated the water will not be stopped from going through the property.

**Clark** asked about access to the back lots.

**Goodrich** pointed out the access to the back lots on the power point maps.

**Chair opened Hearing for Planning Commission Deliberation and Motion.**

**Black** stated he would like to continue this to the next Planning Commission meeting.

David Black moved to continue Finley Rezone (Z-08-04) and Finley Preliminary Plat (P-08-05) to June 24, 2008 Planning Commission meeting. Larry Fuller seconded and the motion passed with all in favor.

**B. McBeth Preliminary Plat (P-07-54)**

**Chair opened Hearing for Staff Presentation.**

CDS Staff Planner, **Mackenzie Moynihan** read portions of her staff report into the record. Attached hereto and incorporated is a copy of that staff report and submitted **Exhibit A** in to the record.

**Chair opened Hearing for Applicant Presentation.**

**Noah Goodrich**, Encompass and Surveying, 108 East 2<sup>nd</sup> Street, Cle Elum, WA 98922, stated he agreed with the staff presentation and gave a brief overview of his presentation and submitted **Exhibit B** into the record.

Public Works, **Randy Carbary** stated the Department of Public Works has been requiring on plats that applicants provide more detail on access roads.

**Chair opened Hearing for Public Testimony.**

**No Public Testimony.**

**Chair opened Hearing for Planning Commission Deliberation and Motion.**

**Fuller** stated until they get a second access he is not in favor of this.

**Clark** stated he agrees with Fuller but it's something we could condition.

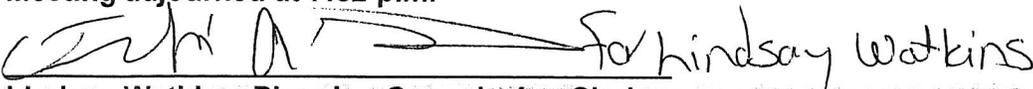
**Green** stated she agrees with Clark.

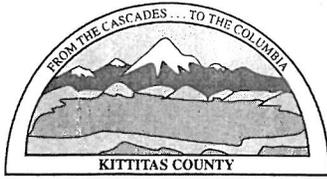
**Grant Clark** moved to pass forward **McBeth Preliminary Plat (P-07-54)** to the Board of County Commissioners with a recommendation of approval with the condition that the secondary access be defined and constructed prior to final approval. Jason Grant seconded and the motion passed 4/1 with Larry Fuller voting no.

Findings of Fact will be brought back to the June 24, 2008 Planning Commission meeting.

Next regularly scheduled meeting is June 24, 2008 at 6:30p.m.

**Meeting adjourned at 7:52 p.m.**

  
Lindsay Watkins, Planning Commission Clerk



**KITTITAS COUNTY**  
**DEPARTMENT OF PUBLIC WORKS**

**MEMORANDUM**

TO: Mackenzie Moynihan, Community Development Services  
FROM: Randy Carbary, Planner II *RC*  
DATE: February 26, 2008  
SUBJECT: Graham Family Short Plat SP08-02



Our department has reviewed the plat application and has the following comments:

- “Conditional Preliminary Approval”** is recommended based on the information provided. See below for conditions of preliminary approval.
- “Additional Information Requested”. Prior to continuing the approval process for the submitted development, additional information is requested for analysis.

**The following issue shall be resolved prior to final approval:**

1. Access to Lot 4: The short plat drawing depicts a proposed access location to lot 4; however, no easement is shown where it crosses lot 1. A minimum 20' wide access and utility easement shall be shown for the proposed access location to lot 4.
2. Plat Note #7: Plat note #7 does not apply and shall be removed.
3. Revised Lot Closures: Our department received a revised short plat application on 2/13/08. Revised lot closures which reflect the new lot dimensions shall be required prior to final approval.

**The following shall be conditions of preliminary approval:**

1. Access Easements “Q” and “R” - Joint-Use Driveway: Access easements “Q” and “R” shall meet current Kittitas County Road Standards for joint-use accesses. Each joint-use access shall serve no more than two tax parcels. See Kittitas County Road Standards, 9/6/05 edition.
  - a. Access easements shall be a minimum of 20' wide. The roadway width shall have a minimum width of 12'.
  - b. The surface requirement is for a minimum gravel surface depth of 6”.

Phone: (509) 674-7433 Fax: (509) 674-7419

TO KITTITAS COUNTY HEALTH DEPT.

DATE	<u>8-4-08</u>	JOB NO.	<u>07206</u>
ATTENTION	<u>CATHERINE BAMBRICK, M.S.</u>		
RE:	<u>GRAHAM FAMILY SPL</u>		

WE ARE SENDING YOU  Attached  Under separate cover via \_\_\_\_\_ the following items:

- Shop drawings     Prints     Plans     Samples     Specifications  
 Copy of letter     Change order     \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
<u>1</u>		<u>2</u>	<u>WATER AVAILABILITY LETTER</u>
<u>1</u>		<u>2</u>	<u>8 1/2" x 11" COPY OF SHORT PLAT &amp; VICINITY MAP</u>
<u>1</u>		<u>10</u>	<u>WATER AVAILABILITY REPORT</u>

THESE ARE TRANSMITTED as checked below:

- For approval     Approved as submitted     Resubmit \_\_\_\_\_ copies for approval  
 For your use     Approved as noted     Submit \_\_\_\_\_ copies for distribution  
 As requested     Returned for corrections     Return \_\_\_\_\_ corrected prints  
 For review and comment     \_\_\_\_\_  
 FOR BIDS DUE \_\_\_\_\_     PRINTS RETURNED AFTER LOAN TO US

REMARKS \_\_\_\_\_

**RECEIVED**  
 AUG 04 2008  
 Kittitas County  
 CDS

COPY TO KCCDS, FILE, Client

SIGNED: PCole



August 4, 2008

ATTN: Catherine Bambrick, M.S.  
Kittitas County Health Department  
411 N. Ruby Street Suite 3  
Ellensburg, WA 98926

RE: Graham Family Short Plat

Dear Ms. Bambrick:

This letter is written as a water availability report to present information that would indicate that potable water is likely to be attained by drilling individual wells on the proposed short plat lots or that shared wells or a community well(s) could meet the water demands of the subdivision.

The proposed short plat lies adjacent to Lower Peoh Point Road along the southern boundary and the John Wayne Trail along the northern boundary in the northwest quarter of the southwest quarter of Sections 4, Township 19 North, Range 16 East, W.M. The parcel generally slopes northerly across the site toward the Yakima River.

Data on existing well logs was gathered within approximately one quarter of a mile from the proposed subdivision. Well logs were obtained for eight wells in Section 4. The well logs indicate a high probability of encountering potable water. In addition, there is an existing well located on the parcel, but data on the existing well is not available.

The wells vary in depth from 38 feet to 715 feet with the average depth for the eight wells at 274 feet. The well production quantities vary from 10 gallons per minute to 100 gallons per minute with the average for the eight wells at 36 gallons per minute. The static water level in the wells varies from 18 to 340 feet with the average level at 149 feet.

Based on the well log information, I recommend the Graham Family Short Plat be approved because of the probability that individual wells could be drilled on the lots or shared wells could be drilled to serve two lots or a community well(s) could be drilled with a minimum production to serve four lots. This recommendation is based on the existence and productivity of the wells previously mentioned. This recommendation should not be construed to be a guarantee that wells can be drilled at any particular location or depth and there is no guarantee on the production of the well(s).

August 4, 2008  
Page 2

Thank you for your consideration. Please call me if you have any questions.

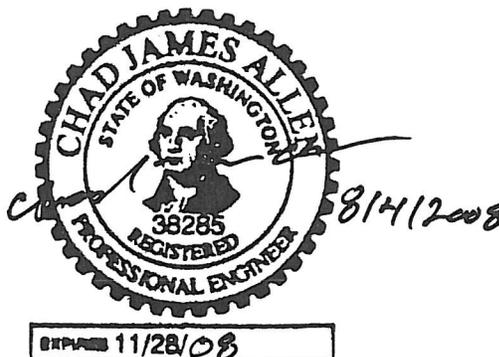
Very truly yours,



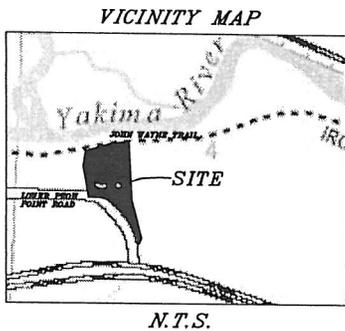
Chad Allen, P.E.  
ENCOMPASS ENGINEERING AND SURVEYING

Enclosures

Cc: Richard Graham



**GRAHAM FAMILY SHORT PLAT SP-08-02**  
 PORTION OF SW 1/4 OF SECTION 4,  
 TOWNSHIP 19 NORTH, RANGE 16 EAST, W.M.



**APPROVALS**

KITITAS COUNTY PUBLIC WORKS

EXAMINED AND APPROVED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

\_\_\_\_\_  
 KITITAS COUNTY ENGINEER

COUNTY PLANNING DIRECTOR

I HEREBY CERTIFY THAT THE GRAHAM FAMILY SHORT PLAT HAS BEEN EXAMINED BY ME AND THAT IT CONFORMS TO THE COMPREHENSIVE PLAN OF THE KITITAS COUNTY PLANNING COMMISSION.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

\_\_\_\_\_  
 KITITAS COUNTY PLANNING DIRECTOR

KITITAS COUNTY HEALTH DEPARTMENT

PRELIMINARY INSPECTION INDICATED SOIL CONDITIONS MAY ALLOW USE OF SEPTIC TANKS AS A TEMPORARY MEANS OF SEWAGE DISPOSAL FOR SOME, BUT NOT NECESSARILY ALL BUILDINGS WITHIN THIS SHORT PLAT. PROSPECTIVE PURCHASERS OF THIS LOT ARE URGED TO MAKE INQUIRIES AT THE COUNTY HEALTH DEPARTMENT ABOUT ISSUANCE OF SEPTIC TANK PERMITS FOR LOTS.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

\_\_\_\_\_  
 KITITAS COUNTY HEALTH OFFICER

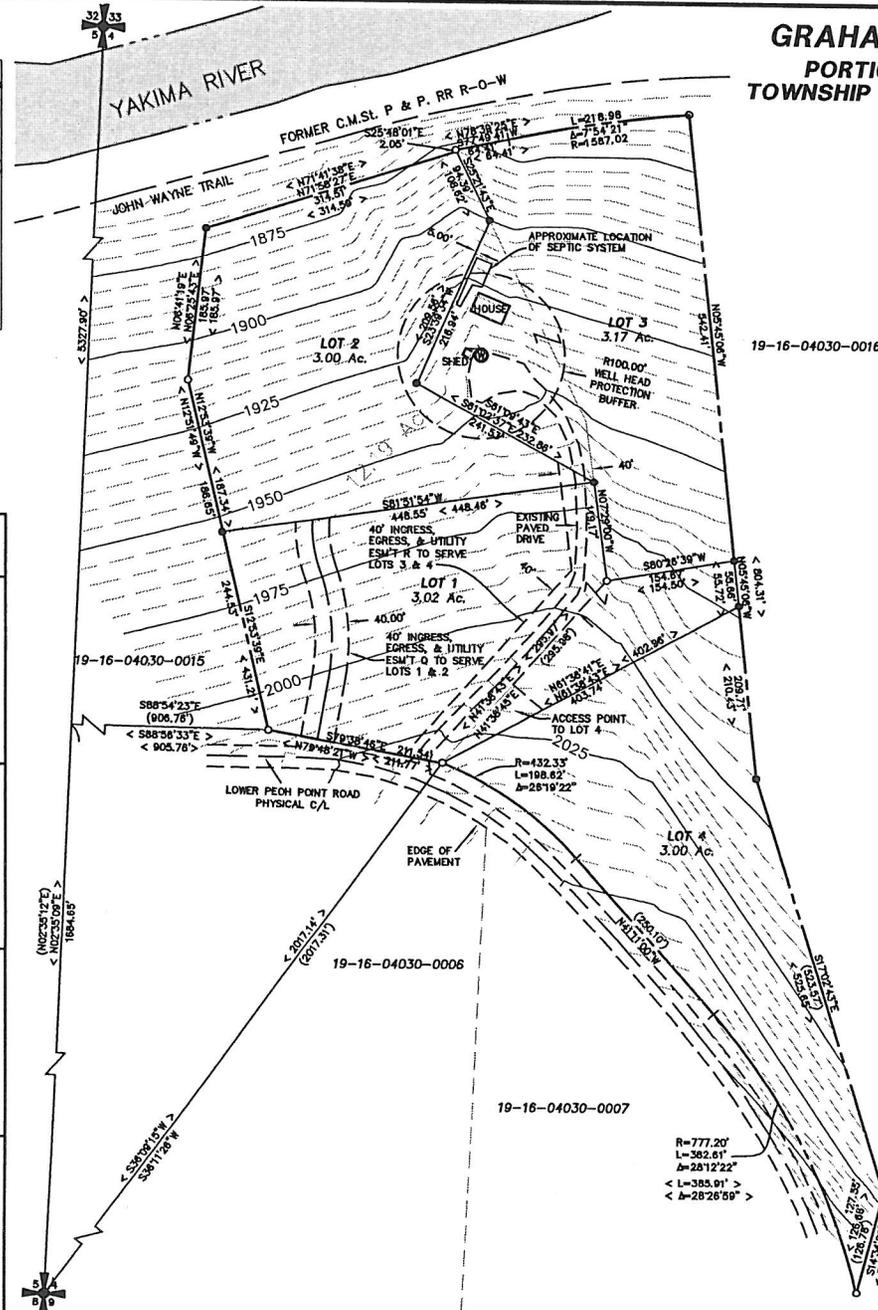
CERTIFICATE OF COUNTY TREASURER

I HEREBY CERTIFY THAT THE TAXES AND ASSESSMENTS ARE PAID FOR THE PRECEDING YEARS AND FOR THIS YEAR IN WHICH THE PLAT IS NOW BEING FILED.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_\_ A.D., 20\_\_

\_\_\_\_\_  
 KITITAS COUNTY TREASURER

ORIGINAL TAX LOT NO. 19-16-04030-0013 (458534)



RECORDER'S CERTIFICATE \_\_\_\_\_

FILED FOR RECORD THIS.....DAY OF..... 20.....AT.....M  
 IN BOOK.....OF.....AT PAGE.....AT THE REQUEST OF  
 DAVID P. NELSON  
 Surveyor's Name

County Auditor \_\_\_\_\_ Deputy County Auditor \_\_\_\_\_

SURVEYOR'S CERTIFICATE

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE SURVEY RECORDING ACT AT THE REQUEST OF.....RICHARD GRAHAM..... IN.....JAN.....2008.

DAVID P. NELSON DATE  
 RECORDER'S CERTIFICATE NUMBER.....18092.....

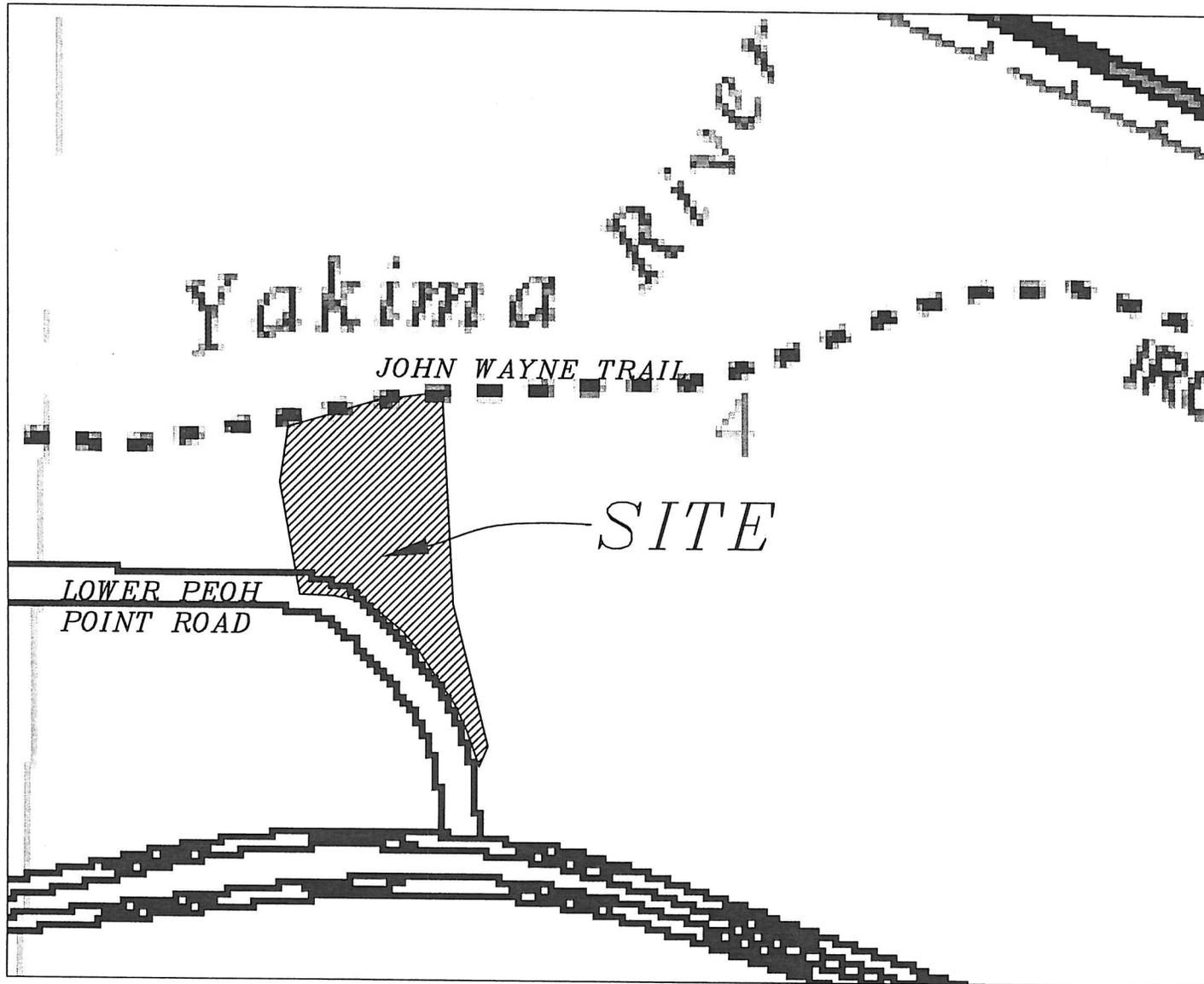
**K.C.S.P. NO. 08-02**  
 Portion of Sec. 04, T.19N, R.16E., W.M.  
 Kittitas County, Washington

DWN BY <b>DLP/MRN</b>	DATE <b>01/2008</b>	JOB NO. <b>07208</b>
CHKD BY <b>D. NELSON</b>	SCALE <b>1"=100'</b>	SHEET <b>1 OF 2</b>

**Encompass**  
 ENGINEERING & SURVEYING

108 EAST 2ND STREET  
 CLE ELUM, WA 98922  
 PHONE: (509) 674-7433  
 FAX: (509) 674-7419

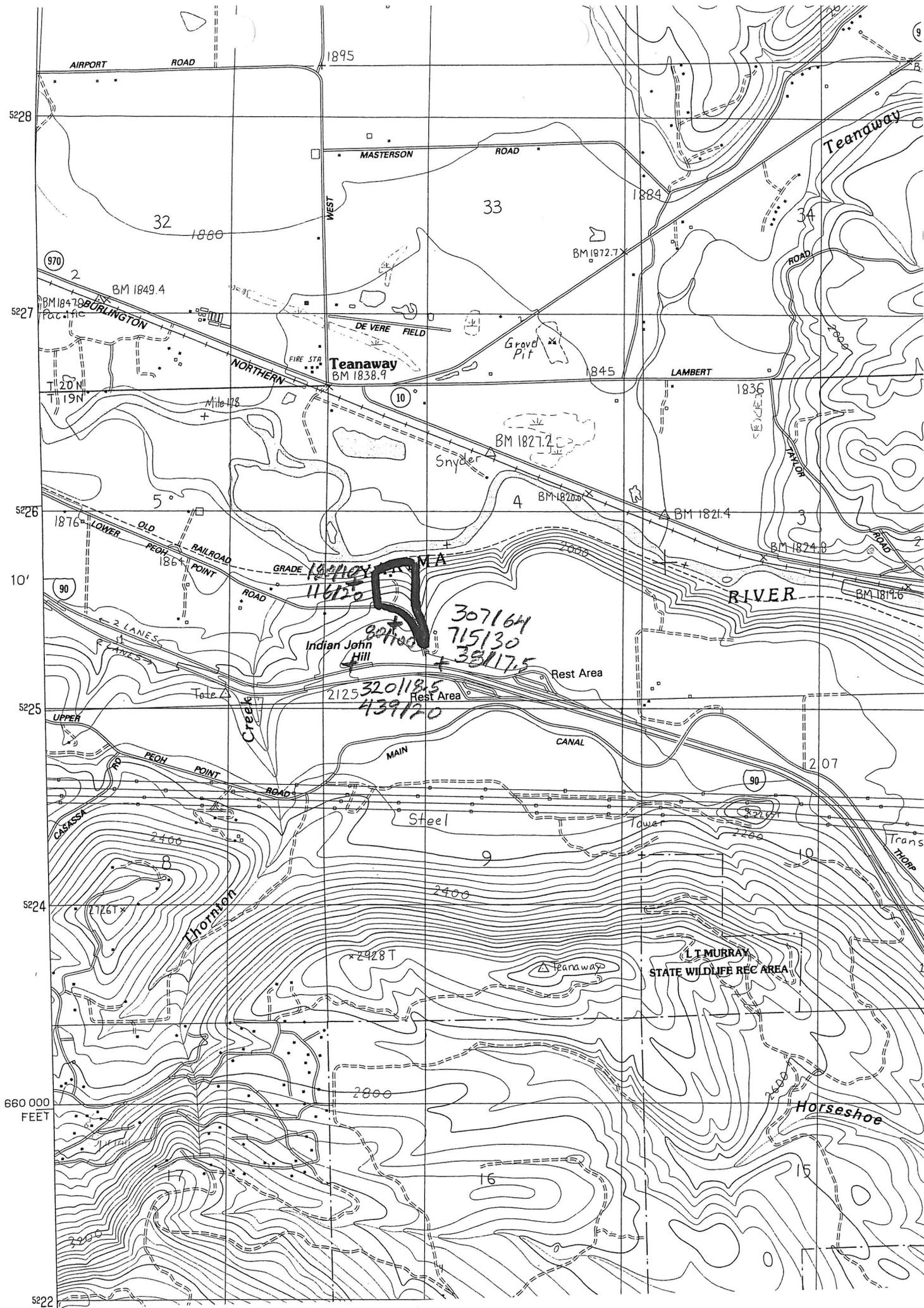
# VICINITY MAP



*N. T. S.*

**WELL LOG SUMMARY**  
**TWN 19N RGE 16E**

Depth (ft)	Flow (gpm)	Static Level (ft)	1/4 1/4 Section
116	20	82	NW/SW Sec. 4
180	10	95	NW/SW Sec. 4
80	100	100	SW1/4 Sec. 4
320	18.5	184	SW/SW Sec. 4
439	20	154	SW/SW Sec. 4
715	35	340	SE/SE Sec. 4
38	17.5	18	SE/SW Sec. 4
307	64	220	SE/SW Sec. 4
<b>AVERAGE DEPTH =</b>	<b>AVERAGE FLOW=</b>	<b>AVERAGE S.L. =</b>	
<b>274</b>	<b>36</b>	<b>149</b>	



AIRPORT ROAD

1895

MASTERTON ROAD

Teanaway

32

33

34

(970)

BM 1849.4

BM 1847.8

Teanaway  
BM 1838.9

BM 1872.7

LAMBERT

1836

BM 1827.2

BM 1820.0

BM 1821.4

BM 1824.8

BM 1819.6

1876

1864

GRADE

90

Indian John Hill

3071.64  
7151.30  
38117.5

Rest Area

2125  
320118.5  
43917.0

MAIN

CANAL

Steel

Tower

90

207

UPPER

PEON POINT

CASASSA

2400

2400

2200

5224

1726T

x2428T

L. I. MURRAY  
STATE WILDLIFE REC AREA

Horseshoe

660 000  
FEET

2800

16

15

5222





The Department of Ecology does NOT Warranty the Data and/or the Information on this Well Report.

*Calum K*

WATER WELL REPORT

Start Card No. W048334  
 Unique Well I.D. # ABX616  
 Water Right Permit No.

STATE OF WASHINGTON

(1) OWNER: Name MONROE, GARY R. Address 1060 LAMBERT RD. CLE ELUM, WA 98922-

(2) LOCATION OF WELL: County KITTITAS 1/4 SW 1/4 Sec 4 T 19 N., R 16 WM

(3) PROPOSED USE: DOMESTIC

(4) TYPE OF WORK: Owner's Number of well (If more than one) 1  
 Method: ROTARY  
 NEW WELL

(10) WELL LOG  
 Formation: Describe by color, character, size of material and structure, and show thickness of aquifers and the kind and nature of the material in each stratum penetrated, with at least one entry for each change in formation.

(5) DIMENSIONS: Diameter of well 6 inches  
 Drilled 80 ft. Depth of completed well 80 ft.

MATERIAL	FROM	TO
TOPSOIL	0	5
GRAVEL AND BOULDERS	5	25
GREY CLAY	25	60
DARK SAND WITH WATER	60	80
	80	

(6) CONSTRUCTION DETAILS:  
 Casing installed: 6 " Dia. from +2 ft. to 78 ft.  
 WELDED " Dia. from ft. to ft.  
 " Dia. from ft. to ft.

Perforations: NO  
 Type of perforator used  
 SIZE of perforations in. by in.  
 perforations from ft. to ft.  
 perforations from ft. to ft.  
 perforations from ft. to ft.

Screens: NO  
 Manufacturer's Name  
 Type Model No.  
 Diam. slot size from ft. to ft.  
 Diam. slot size from ft. to ft.

Gravel packed: NO  
 Gravel placed from ft. to ft. Size of gravel

Surface seal: YES To what depth? 18 ft.  
 Material used in seal BENTONITE  
 Did any strata contain unusable water? NO  
 Type of water? Depth of strata ft.  
 Method of sealing strata off OVERBORE

**AUG 18 1995**

(7) PUMP: Manufacturer's Name Type H.P.

Work started 08/02/95 Completed 08/03/95

(8) WATER LEVELS: Land-surface elevation above mean sea level ... ft.  
 Static level 100 ft. below top of well Date 08/03/95  
 Artesian Pressure 1 lbs. per square inch Date  
 Artesian water controlled by

(9) WELL TESTS: Drawdown is amount water level is lowered below static level.

WELL CONSTRUCTOR CERTIFICATION:  
 I constructed and/or accept responsibility for construction of this well, and its compliance with all Washington well construction standards. Materials used and the information reported above are true to my best knowledge and belief.

Was a pump test made? NO If yes, by whom?  
 Yield: gal./min with ft. drawdown after hrs.

Recovery data  
 Time Water Level Time Water Level Time Water Level

NAME PONDEROSA DRILLING  
 (Person, firm, or corporation) (Type or print)

Date of test / /  
 Bailer test gal/min. ft. drawdown after hrs.  
 Air test 100 gal/min. w/ stem set at 75 ft. for 1 hrs.  
 Artesian flow g.p.m. Date  
 Temperature of water Was a chemical analysis made? NO

ADDRESS E 6010 BROADWAY  
 [SIGNED] *S. A. Kelly* License No. 2215  
 Contractor's Registration No. PO-ND-E1\*248JE Date 08/04/95

The Department of Ecology does NOT Warranty the Data and/or the Information on this Well Report.

File Original with  
Department of Ecology  
Second Copy Owner's Copy  
Third Copy Driller's Copy /13222

# WATER WELL REPORT

STATE OF WASHINGTON

Notice of Intent W136519  
UNIQUE WELL ID # AFH 987  
Water Right Permit No \_\_\_\_\_

(1) OWNER Name JOE & Ellie Loring Address P.O. Box 158 S. Cle Elum

(2) LOCATION OF WELL County Kittitas SW 1/4 SW 1/4 Sec 4 T. 19 N. R. 16 WM

(2a) STREET ADDRESS OF WELL (or nearest address) \_\_\_\_\_  
TAX PARCEL NO 1916 04030 0009 N

(3) PROPOSED USE  Domestic  Industrial  Municipal  
 Irrigation  Test Well  Other  
 DeWater

(4) TYPE OF WORK Owner's number of well (if more than one) \_\_\_\_\_  
 New Well Method  Dug  Bored  
 Deepened  Cable  Driven  
 Reconditioned  Rotary  Jetted  
 Decommission

(5) DIMENSIONS Diameter of well SIX inches  
Drilled 320 feet Depth of completed well 320 ft

(6) CONSTRUCTION DETAILS  
Casing Installed  Welded 220 Diam from 12 ft to 220 ft  
 Liner installed 42 Diam from 200 ft to 320 ft  
 Threaded Diam from \_\_\_\_\_ ft to \_\_\_\_\_ ft

Perforations  Yes  No  
Type of perforator used SKILL SAW  
SIZE of perforations 1/4 in by 6 in  
260 perforations from 260 ft to 320 ft

Screens  Yes  No  K Pac Location \_\_\_\_\_  
Manufacturer's Name \_\_\_\_\_  
Type \_\_\_\_\_ Model No \_\_\_\_\_  
Diam \_\_\_\_\_ Slot Size \_\_\_\_\_ from \_\_\_\_\_ ft to \_\_\_\_\_ ft  
Diam \_\_\_\_\_ Slot Size \_\_\_\_\_ from \_\_\_\_\_ ft to \_\_\_\_\_ ft

Gravel/Filter packed  Yes  No  Size of gravel/sand \_\_\_\_\_  
Material placed from \_\_\_\_\_ ft to \_\_\_\_\_ ft

Surface seal  Yes  No To what depth? 18 ft  
Material used in seal BENTONITE  
Did any strata contain unusable water?  Yes  No  
Type of water? \_\_\_\_\_ Depth of strata \_\_\_\_\_  
Method of sealing strata off \_\_\_\_\_

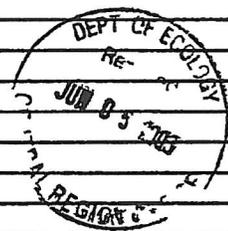
(7) PUMP Manufacturer's Name \_\_\_\_\_  
Type \_\_\_\_\_ HP \_\_\_\_\_

(8) WATER LEVELS Land surface elevation above mean sea level \_\_\_\_\_ ft  
Static level 184 ft below top of well Date 5-20-03  
Artesian pressure \_\_\_\_\_ lbs per square inch Date \_\_\_\_\_  
Artesian water is controlled by \_\_\_\_\_ (Cap valve etc)

(9) WELL TESTS Drawdown is amount water level is lowered below static level  
Was a pump test made?  Yes  No If yes by whom? \_\_\_\_\_  
Yield \_\_\_\_\_ gal/min with \_\_\_\_\_ ft drawdown after \_\_\_\_\_ hrs  
Yield \_\_\_\_\_ gal/min with \_\_\_\_\_ ft drawdown after \_\_\_\_\_ hrs  
Yield \_\_\_\_\_ gal/min with \_\_\_\_\_ ft drawdown after \_\_\_\_\_ hrs  
Recovery data (time taken as zero when pump turned off) (water level measured from well top to water level)  
Time \_\_\_\_\_ Water Level \_\_\_\_\_ Time \_\_\_\_\_ Water Level \_\_\_\_\_ Time \_\_\_\_\_ Water Level \_\_\_\_\_  
APAX 17 to 20 gpm  
Date of test \_\_\_\_\_  
Bailer test \_\_\_\_\_ gal/min with \_\_\_\_\_ ft drawdown after \_\_\_\_\_ hrs  
Airtest \_\_\_\_\_ gal/min with \_\_\_\_\_ ft drawdown after \_\_\_\_\_ hrs  
Artesian flow \_\_\_\_\_ g p m Date \_\_\_\_\_  
Temperature of water \_\_\_\_\_ Was a chemical analysis made?  Yes  No

(10) WELL LOG or DECOMMISSIONING PROCEDURE DESCRIPTION  
Formation Describe by color character size of material and structure and the kind and nature of the material in each stratum penetrated with at least one entry for each change of information Indicate all water encountered

MATERIAL	FROM	TO
Top Soil, Brown, M	0	3
Clay, gravel, cobbles, Br. H	3	9
Basalt Boulders Black, M H	9	14
Clay, gravel, cobbles, Br. H	14	43
Sandy clay, gravel, cobbles, H	43	62
Sandy gravel, cobbles, H	62	65
Sandy clay & gravel H	65	123
Sand & gravel Brown M S	123	160
Sand, gravel, cobbles M H	160	193
Clay, gravel, cobbles, gray H	193	206
Sandy clay & gravel H	206	209
Sand Stone Tan-Black M H	209	220
Sand Stone Black tan M H	220	289
Sand Stone Multi-cl M	289	320



Work Started 5-12-03 Completed 5/20/03

**WELL CONSTRUCTION CERTIFICATION**

I constructed and/or accept responsibility for construction of this well and its compliance with all Washington well construction standards Materials used and the information reported above are true to my best knowledge and belief

Type or Print Name Robert Lee License No 2675  
(Licensed Driller/Engineer)

Trainee Name \_\_\_\_\_ License No \_\_\_\_\_

Drilling Company Water man well Drilling  
(Signed) Robert Lee License No 2675  
(Licensed Driller/Engineer)

Address 106 Berriman Lane

Contractors  
Registration No Waterwood DB Date 5-23-03

(USE ADDITIONAL SHEETS IF NECESSARY)

Ecology is an Equal Opportunity and Affirmative Action employer For special accommodation needs contact the Water Resources Program at (360) 407 6600 The TDD number is (360) 407 6006



# WATER WELL REPORT

Original & 1<sup>st</sup> copy - Ecology, 2<sup>nd</sup> copy - owner, 3<sup>rd</sup> copy - driller

Construction/Decommission ("x" in circle)

- Construction 278308  
 Decommission ORIGINAL INSTALLATION Notice of Intent Number \_\_\_\_\_

**PROPOSED USE:**  Domestic  Industrial  Municipal  
 DeWater  Irrigation  Test Well  Other \_\_\_\_\_

**TYPE OF WORK:** Owner's number of well (if more than one) \_\_\_\_\_  
 New well  Reconditioned Method:  Dug  Bored  Driven  
 Deepened  Cable  Rotary  Jetted

**DIMENSIONS:** Diameter of well 6 inches, drilled 439 ft.  
 Depth of completed well 439 ft.

**CONSTRUCTION DETAILS**  
 Casing  Welded 6 " Diam. from +1 1/2 ft. to 278 ft.  
 Installed:  Liner installed 4 1/2 " Diam. from -259 ft. to 439 ft.  
 Threaded " Diam. from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

Perforations:  Yes  No  
 Type of perforator used Skill saw \*\*\*\*\*  
 SIZE of perfs 1/8 in. by 8 in. and no. of perfs 41 from 279 ft. to 299 ft.

Screens:  Yes  No  K-Pac Location \_\_\_\_\_  
 Manufacturer's Name \_\_\_\_\_  
 Type \_\_\_\_\_ Model No. \_\_\_\_\_  
 Diam. \_\_\_\_\_ Slot size \_\_\_\_\_ from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.  
 Diam. \_\_\_\_\_ Slot size \_\_\_\_\_ from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

Gravel/Filter packed:  Yes  No  Size of gravel/sand \_\_\_\_\_  
 Materials placed from \_\_\_\_\_ ft. to \_\_\_\_\_ ft.

Surface Seal:  Yes  No To what depth? 19 ft.  
 Material used in seal Bentonite  
 Did any strata contain unusable water?  Yes  No  
 Type of water? \_\_\_\_\_ Depth of strata \_\_\_\_\_  
 Method of sealing strata off \_\_\_\_\_

PUMP: Manufacturer's Name \_\_\_\_\_  
 Type: \_\_\_\_\_ H.P. \_\_\_\_\_

**WATER LEVELS:** Land-surface elevation above mean sea level 2126 ft.  
 Static level 154 ft. below top of well Date 10-15-07  
 Artesian pressure \_\_\_\_\_ lbs. per square inch Date \_\_\_\_\_  
 Artesian water is controlled by \_\_\_\_\_ (cap, valve, etc.)

**WELL TESTS:** Drawdown is amount water level is lowered below static level  
 Was a pump test made?  Yes  No If yes, by whom? \_\_\_\_\_  
 Yield: \_\_\_\_\_ gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
 Yield: \_\_\_\_\_ gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
 Yield: \_\_\_\_\_ gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
 Recovery data (time taken as zero when pump turned off) (water level measured from well top to water level)

Time	Water Level	Time	Water Level	Time	Water Level
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____

Date of test \_\_\_\_\_  
 Bailer test \_\_\_\_\_ gal./min. with \_\_\_\_\_ ft. drawdown after \_\_\_\_\_ hrs.  
 Airtest 20 gal./min. with stem set at 438 ft. for 1 1/2 hrs.  
 Artesian flow \_\_\_\_\_ g.p.m. Date 10-15-07  
 Temperature of water \_\_\_\_\_ Was a chemical analysis made?  Yes  No

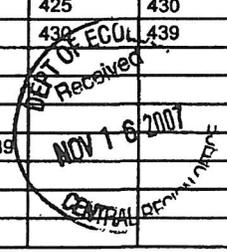
## CURRENT

Notice of Intent No. W 253206  
 Unique Ecology Well ID Tag No. BAN 888  
 Water Right Permit No. \_\_\_\_\_  
 Property Owner Name Baker, Michael & Kandie  
 Well Street Address 7590 Lower Peoh Point Rd. N  
 City Cle Elum County Kittitas  
 Location SW 1/4-1/4 SW 1/4 Sec 04 Twn 19 R 16 EWM  check or WWM  one  
 (Lat/Long (s, t, r) Lat Deg N 47 Lat Min/Sec 09.754  
 Still REQUIRED) Long Deg W 120 Long Min/Sec 51.432  
 Tax Parcel No. 191604 055 0003

### CONSTRUCTION OR DECOMMISSION PROCEDURE

Formation: Describe by color, character, size of material and structure, and the kind and nature of the material in each stratum penetrated, with at least one entry for each change of information. (USE ADDITIONAL SHEETS IF NECESSARY.)

MATERIAL	FROM	TO
Brown clay fill	0	6
Brown clay, gravel, cobbles	6	64
Brown sand, gravel	64	95
Brown sandy clay, gravel, cobbles	95	134
Brown silty sand, gravel	134	165
Brown silt, fine sand, 20% gravel	165	181
Brown thick silt	181	200
Brown / gray thick silt	200	209
Brown silt w/ sparce pea gravel WB	209	231
Gray silty clay	231	239
Gray silty clay w/ sparce broken gravel	239	243
Gray cemented silty gravel, cobbles	243	262
Brown claystone 1 - 1 1/2 gpm @ 284-288	262	320
Gray shale	320	331
Purple shale	331	334
Dk. gray sandy shale / clay	334	347
Purple shale	347	357
Brown soft sandstone / claystone	357	366
Tan soft sandstone / claystone	366	396
5 gpm @ 370-375'		
Soft purple shale	396	416
Dk. gray / blue conglomerate	416	425
Gray soft sandstone	425	430
Gray / blue conglomerate	430	439
14+ gpm @ 430-433'		
*****Perfs cont. 41 @ 359-379, 82 @ 399-439		



**WELL CONSTRUCTION CERTIFICATION:** I constructed and/or accept responsibility for construction of this well, and its compliance with all Washington well construction standards. Materials used and the information reported above are true to my best knowledge and belief.

Driller  Engineer  Trainee Name (Print) Brett Phythian  
 Driller/Engineer/Trainee Signature \_\_\_\_\_  
 Driller or trainee License No. 1249  
 Drilling Company Tumwater Drilling & Pump Inc. 509-548-5361  
 Address 9290 Hwy 2 / P.O.Box 777  
 City, State, Zip Dryden / Leavenworth, WA 98826

**IF TRAINEE,**  
 Driller's Licensed No. \_\_\_\_\_  
 Driller's Signature \_\_\_\_\_

Contractor's Registration No. TUMWADP 011 LZ Date 10-17-2007



The Department of Ecology does NOT Warranty the Data and/or the Information on this Well Report.

# WATER WELL REPORT

Original & 1st copy Ecology 2nd copy owner 3rd copy driller

Construction/Decommission (x in circle) 114040  
 Construction  
 Decommission ORIGINAL CONSTRUCTION Notice of Intent Number \_\_\_\_\_

CURRENT Notice of Intent No W154552  
 Unique Ecology Well ID Tag No 7GB 063  
 Water Right Permit No \_\_\_\_\_ P

Property Owner Name John + Valarie McLallu

PROPOSED USE  Domestic  Industrial  Municipal  
 DeWater  Irrigation  Test Well  Other \_\_\_\_\_

Well Street Address 9327 Upper Peoh Pt rd

TYPE OF WORK Owners number of well (if more than one) \_\_\_\_\_  
 New Well  Reconditioned Method  Dug  Bored  Driven  
 Deepened  Cable  Rotary  Jetted

City Cleelum County KITTITAS

Location SE 1/4 1/4 SW 1/4 Sec 4 Twn 19 R 16 EWM circle or one WWM

DIMENSIONS Diameter of well 6 inches drilled 38 ft  
 Depth of completed well 38 ft

Lat/Long (s, r still REQUIRED) Lat Deg \_\_\_\_\_ Lat Min/Sec \_\_\_\_\_  
 Long Deg \_\_\_\_\_ Long Min/Sec \_\_\_\_\_

CONSTRUCTION DETAILS  
 Casing  Welded 6 Diam from 12 ft to 36 ft  
 Installed  Liner installed \_\_\_\_\_ Diam from \_\_\_\_\_ ft to \_\_\_\_\_ ft  
 Threaded \_\_\_\_\_ Diam from \_\_\_\_\_ ft to \_\_\_\_\_ ft

Tax Parcel No \_\_\_\_\_

CONSTRUCTION OR DECOMMISSION PROCEDURE  
 Formation Describe by color character size of material and structure and the kind and nature of the material in each stratum penetrated with at least one entry for each change of information Indicate all water encountered (USE ADDITIONAL SHEETS IF NECESSARY)

Perforations  Yes  No  
 Type of perforator used \_\_\_\_\_  
 SIZE of perfs \_\_\_\_\_ in by \_\_\_\_\_ in and no of perfs \_\_\_\_\_ from \_\_\_\_\_ ft to \_\_\_\_\_ ft

MATERIAL	FROM	TO
topsoil Basalt	0	8
Cobbels Boulders		
Brown Black M		
Clay Brown m	8	16
Gravel Cobbels with Clay mH	16	20
Basalt Boulders		
Black VH	20	24
Clay Brown sm	24	28
Sand Gravel Cobbels		
Boulders Matly Color mH	28	38

Screens  Yes  No  K Pac Location \_\_\_\_\_  
 Manufacturer's Name \_\_\_\_\_  
 Type \_\_\_\_\_ Model No \_\_\_\_\_  
 Diam \_\_\_\_\_ Slot Size \_\_\_\_\_ from \_\_\_\_\_ ft to \_\_\_\_\_ ft  
 Diam \_\_\_\_\_ Slot Size \_\_\_\_\_ from \_\_\_\_\_ ft to \_\_\_\_\_ ft

Gravel/Filter packed  Yes  No  Size of gravel/sand \_\_\_\_\_  
 Materials placed from \_\_\_\_\_ ft to \_\_\_\_\_ ft

Surface Seal  Yes  No To what depth? 20 ft  
 Materials used in seal Benonite  
 Did any strata contain unusable water?  Yes  No  
 Type of water? \_\_\_\_\_ Depth of strata \_\_\_\_\_  
 Method of sealing strata off \_\_\_\_\_

PUMP Manufacturer's Name \_\_\_\_\_  
 Type \_\_\_\_\_ H P \_\_\_\_\_

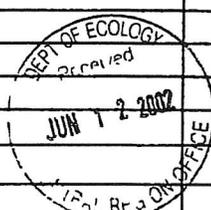
WATER LEVELS Land surface elevation above mean sea level \_\_\_\_\_ ft  
 Static level 18' ft below top of well Date \_\_\_\_\_  
 Artesian pressure \_\_\_\_\_ lbs per square inch Date \_\_\_\_\_  
 Artesian water is controlled by \_\_\_\_\_ (cap valve etc)

WELL TESTS Drawdown is amount water level is lowered below static level  
 Was a pump test made?  Yes  No If yes by whom? \_\_\_\_\_  
 Yield \_\_\_\_\_ gal/min with \_\_\_\_\_ ft drawdown after \_\_\_\_\_ hrs  
 Yield \_\_\_\_\_ gal/min with \_\_\_\_\_ ft drawdown after \_\_\_\_\_ hrs  
 Yield \_\_\_\_\_ gal/min with \_\_\_\_\_ ft drawdown after \_\_\_\_\_ hrs  
 Recovery data (time taken as zero when pump turned off)(water level measured from well top to water level)  

Time	Water Level	Time	Water Level	Time	Water Level
_____	_____	_____	_____	_____	_____
_____	_____	_____	_____	_____	_____

 Date of test \_\_\_\_\_  
 Bailer test \_\_\_\_\_ gal/min with \_\_\_\_\_ ft drawdown after \_\_\_\_\_ hrs  
 Airstest 1540 gal/min with stem set at 35 ft for 1 hrs  
 Artesian flow \_\_\_\_\_ g p m Date \_\_\_\_\_  
 Temperature of water \_\_\_\_\_ Was a chemical analysis made?  Yes  No

Start Date 5/13/02 Completed Date 5/14/02



WELL CONSTRUCTION CERTIFICATION I constructed and/or accept responsibility for construction of this well and its compliance with all Washington well construction standards Materials used and the information reported above are true to my best knowledge and belief  
 Driller  Engineer  Trainee Name (Print) Steve Mills Drilling Company Water Man Well Drilling In  
 Driller/Engineer/Trainee Signature Steve Mills Address 106 Berriman In  
 Driller or Trainee License No 1335 City State Zip Selah WA 98942

If trainee, licensed driller s \_\_\_\_\_  
 Signature and License no \_\_\_\_\_

Contractor's Registration No WATER W0022DB 5/14/02  
 Ecology is an Equal Opportunity Employer ECY 050 1 20 (Rev 4/01)

# WATER WELL REPORT

STATE OF WASHINGTON

Application No. 9073

Permit No. 8407

The Department of Ecology does NOT Warrant the Data and/or the Information on this Well Report.

(1) OWNER: Name WASH. STATE HIGHWAY COMMISSION P.O. Box 52 YAKIMA WASH.  
 (2) LOCATION OF WELL: County KITTITAS Sec. 34 T. 19 N. R. 16 W.  
 bearing and distance from section or subdivision corner 265' WEST & 250' NORTH OF SOUTH QUARTER CORNER SEC 34

(3) PROPOSED USE: Domestic  Industrial  Municipal   
 Irrigation  Test Well  Other

(4) TYPE OF WORK: Owner's number of well (if more than one) #2  
 New well  Method: Dig  Bored   
 Deepened  Cable  Driven   
 Reconditioned  Rotary  Jetted

(5) DIMENSIONS: Diameter of well 6" inches  
 Drilled 307 ft. Depth of completed well 307 ft.

(6) CONSTRUCTION DETAILS:  
 Casing installed:  " Diam. from 0 ft. to 292 ft.  
 Threaded  " Diam. from     ft. to     ft.  
 Welded  " Diam. from     ft. to     ft.

Perforations: Yes  No   
 Type of perforator used      
 SIZE of perforations     in. by     in.  
 perforations from     ft. to     ft.  
 perforations from     ft. to     ft.  
 perforations from     ft. to     ft.

Screens: Yes  No   
 Manufacturer's Name COOK WELL STAINER CO.  
 Type 304 Model No.      
 DIA.     Slot size .025 from 292 ft. to 307 ft.  
 Diam.     Slot size     from     ft. to     ft.

Gravel packed: Yes  No  Size of gravel:      
 Gravel placed from     ft. to     ft.

Surface seal: Yes  No  To what depth? 10.5 ft.  
 Material used in seal GRAVEL - CEMENT  
 Did any strata contain unmineral water? Yes  No   
 Type of water?     Depth of strata      
 Method of sealing strata off    

(7) PUMP: Manufacturer's Name STA-RITE  
 Type: SUBMERSIBLE HP 10

(8) WATER LEVELS: Land surface elevation 2150 ft.  
 Static level 220 ft. below top of well Date 1-3-68  
 Artesian pressure     lbs. per square inch Date      
 Artesian water is controlled by     (Cap, valve, etc.)

(9) WELL TESTS: Drawdown is amount water level is lowered below static level:  
 Was a pump test made? Yes  No  If yes, by whom? COLLEEN'S INC.  
 Yield: 64 gal/min. with 10 ft. drawdown after 2.4 hrs

Recovery data (time taken to zero when pump turned off) (water level measured from well top to water level)

Time	Water Level	Time	Water Level	Time	Water Level
1 Min.	220				

Date of test 1-3-68  
 Bailor test:     gal/min. with     ft. drawdown after     hrs.  
 Water flow     g.p.m. Date      
 Temperature of water     ° Was a chemical analysis made? Yes  No

D.K./W.H.M.

(10) WELL LOG:

Formation: Describe by color, character, size of material and structure, and show thickness of aquifers and the kind and nature of the material in each stratum penetrated, with at least one entry for each change of formation.

MATERIAL	FROM	TO
TOP SOIL	0	10'
TOP SOIL & COBBLE STONE	10'	20'
HARD PAN WITH BOULDERS	21'	32'
HARD PAN WITH BOULDERS	32'	32'
CONCRETE (BLASTING ROCK)	42'	53'
BOULDERS	53'	63'
BOULDERS (BLASTING ROCK)	63'	74'
BOULDERS	74'	84'
BOULDERS (BLASTING ROCK)	84'	90'
VERY HARD BOULDERS	90'	100'
BOULDERS (BLASTING ROCK)	100'	110'
BOULDERS (BLASTING ROCK)	110'	120'
HARD PAN & BOULDERS	120'	130'
HARD PAN	130'	140'
HARD PAN & ROCKS	140'	151'
HARD PAN & ROCKS	151'	162'
BOULDERS (BLASTING ROCK)	162'	172'
HARD PAN	172'	182'
HARD PAN & ROCKS	182'	191'
HARD PAN & ROCKS	191'	200'
HARD PAN	200'	205'
CLAY	205'	211'
CLAY BEAN	211'	222'
CLAY BEAN	222'	232'
SOFT CLAY	232'	243'
BLUE CLAY	243'	254'
BLUE CLAY	254'	265'
SOFT GRAVEL	265'	276'
SOFT GRAVEL (100% SAND)	276'	287'
GRAVEL (WHITE GRAVEL)	287'	297'
GRAVEL (28 1/4" DIA. TOP)	297'	297'
GRAVEL (WHITE GRAVEL)	297'	307'

Work started 11-7-67 Completed 12-21-67

WELL DRILLER'S STATEMENT:  
 This well was drilled under my jurisdiction and this report is true to the best of my knowledge and belief.

NAME RUGER SOUND DRILLING CO.  
 (Person, firm, or corporation) (Type or print)

Address CHEWELUM, WASH.

[Signed] W. W. Johnson  
 (Well Driller)

License No.     Date 4-11-68

(USE ADDITIONAL SHEETS IF NECESSARY)



**LAND USE ACTION**  
Call for more information  
(509) 962-7506

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 Sent: **Tue 2/19/08 2:31 PM**  
 To: **richardgraham886@hotmail.com**  
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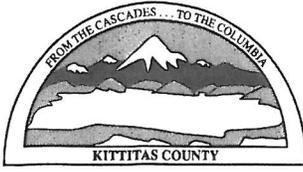
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To: Makenzie Maynard  
 From: Richard Graham ph 509-304-6145  
 File Nos 2-08-02 and SP 08-02

Total Pages 1





## KITTITAS COUNTY COMMUNITY DEVELOPMENT SERVICES

411 N. Ruby St., Suite 2, Ellensburg, WA 98926

CDS@CO.KITTITAS.WA.US

Office (509) 962-7506

Fax (509) 962-7682

January 30, 2008

Mr. Richard Graham  
PO Box 1026  
Cle Elum, WA 98922

RE: Graham Rezone (Z-08-02) and Graham Family Short Plat (SP-08-02)

Dear Mr. Graham,

After staff review of the above referenced projects at our weekly PR Team meeting, we have several issues that came up that make it necessary for us to deny this project as submitted. You cannot apply for a rezone without incorporating the entire rezoned area into an associated project. You are proposing a text amendment that two parcel numbers be rezoned from Forest & Range to Rural-3. These two parcel numbers extend on both sides of the John Wayne Trail and into the Yakima River Floodway. Your Short Plat application includes only one parcel number, the portion of the proposed rezone that lies on the south side of the John Wayne Trail, and makes no reference to the rest of the rezoned area (the second parcel number). This is not allowed per Kittitas County Code 17.98.020. As you may know, we do not allow non-project related rezones unless they are docketed items and, if this project were processed as submitted, parcel number 19-16-04030-0014 would potentially be rezoned without a project.

There is also no legal description submitted with the rezone file (although the application says "see attached," no legal was found). Additionally, all preliminary drawings need to show any existing wells and drainfields and need to show the appropriate contours of the property (per KCC 16.12.030).

Therefore, **this project is denied** as submitted. You could hypothetically submit a 5-lot plat, instead of a short plat, that utilizes all of the rezoned property, including that across the John Wayne Trail. Appropriate fees will apply if you should decide to take this route.

Please let me know if you have any questions.

Sincerely,

Mackenzie Moynihan  
Staff Planner

Cc: Noah Goodrich, Encompass Engineering & Surveying

---

DARRYL PIERCY, DIRECTOR

ALLISON KIMBALL, ASSISTANT DIRECTOR

COMMUNITY PLANNING • BUILDING INSPECTION • PLAN REVIEW • ADMINISTRATION • PERMIT SERVICES • CODE ENFORCEMENT • FIRE INVESTIGATION